



CITY OF BANGOR

To: Honorable Chair and Members of the Bangor City Council
From: Carollynn Lear, City Manager
Subject: Weekly Meetings – **March 2, 2026**
Date: Feb. 27, 2026

March 2	(Mon)	5:15 P.M.	Special City Council Workshop <ul style="list-style-type: none">• Opioid Advisory Committee Recommendation
		<i>Immediately following</i>	Finance Committee
			Government Operations Committee
			Business & Economic Development Committee
March 3	(Tues)	7:00 P.M.	Planning Board
March 4	(Wed)	5:30 P.M.	Board of Ethics
March 6	(Fri)	8:30 A.M.	Commission on Cultural Development

Unless otherwise noted, all meetings are held: City Council Chambers, Bangor City Hall, 73 Harlow St. After 4:30 P.M., members of the public are asked to use the side entrance of City Hall that faces the direction of Exchange and State streets.

Find the calendar and Zoom link at www.bangormaine.gov/calendar and select the meeting you wish to attend. For guidelines on attending City of Bangor public meetings virtually or in-person, visit www.bangormaine.gov/video



CITY OF BANGOR

Special City Council Workshop

Monday, March 2, 2026

Council Chambers, City Hall, 73 Harlow St., 5:15 p.m.

Agenda

1. Opioid Advisory Committee Recommendation



OFFICE OF THE CITY MANAGER

CITY OF BANGOR

Carolynn J. Lear
City Manager

To: Special Council Workshop
From: Carolynn Lear, City Manager
Date: March 2, 2026
RE: Opioid Settlement Fund Advisory Committee – Recommendation

In April of this year, the Bangor City Council established the Opioid Settlement Funds Advisory Committee to advise the City Council on the best use of the City of Bangor's opioid settlement funds in a manner that is transparent, fair and equitable. That Committee was set to expire at the end of calendar year 2025, but in December, Council extended the Committee through June 30, 2026.

The Committee met a total of fifteen times to complete its work. To inform its work, the Committee first elected to complete a Letter of Interest process whereby potential applicants were invited to submit letters of interest from community stakeholders. Letters of interest were due on September 5, 2025 and on September 18, 2025 the Committee hosted a workshop and listening session.

The Committee utilized its own expertise along with the insights gained from the letter of interest responses and listening session to create a grant application process to assist them in making their final recommendation to City Council. The grant application closed on December 1, 2025. Upon closure of the grant application period, the Committee undertook the process of scoring grant applications and reviewing those scores as a Committee. The Committee relied on assistance from the Maine Opioid Settlement Support (MOSS) Center to craft the grant applications process. The MOSS Center is a Maine-based organization that provides consultation, resources, training, and evidence-based technical assistance to Maine communities as they make decisions on the use of settlement funds.

The Committee's application solicited proposals of up to \$50,000 from Maine based organizations that provide services within the City of Bangor. The Committee had up to \$650,000 in settlement funds to allocate. In response to the grant application, the Committee received a total of 32 grant applications, most of which requested funding at the full \$50,000 cap.

The Committee began with nine (9) voting members. Two members resigned (for reasons unrelated to the Committee's work) prior to the Committee's final vote on the recommendation to Council and one member felt a professional obligation to recuse themselves. One member was absent from the Committee meeting on the date the final vote was held. This left 5 Committee members present and voting on this final recommendation. This final recommendation passed by a vote of (3-2).

The split vote on this final recommendation is notable and deserves explanation. One grant applicant, Bangor Public Health & Community Services (BPH&CS), scored well enough in the

73 HARLOW STREET, BANGOR, ME 04401
TELEPHONE: (207) 992-4205
WWW.BANGORMAINE.GOV

grant scoring process (6th highest of 32 proposals) to receive a grant award of \$50,000 for their proposal¹. However, when the final recommendation was ultimately moved, the motion was made to not fund the BPH&CS proposal and to instead fund a lower scoring proposal (19th of 32 proposals). The three members voting in favor of the final recommendation did not wish to fund the PHCS proposal because Council previously allocated \$550,000 from opioid settlement funds to support intensive HIV case management services. The two members voting against the Committee's final recommendation due to the removal of the BPPH&CS proposal felt that it was inequitable and not in alignment with the Committee's established procedure to specifically remove an applicant based on a criterion that was not set forth in the grant application documentation and because no other applicant was reviewed to determine whether they had already received opioid settlement funds. Additionally, the two members voting against the Committee's final recommendation felt that the methodology established by the Committee was established to identify the most beneficial projects to receive funding irrespective of applicant.

The final list of projects that the Committee recommends funding is below and the Committee has been invited to attend this Special Workshop.

¹ The BPH&CS proposal was to fund a per-diem nurse practitioner to provide 12-15 hours of weekly healthcare services at the One-Stop-Shop located at Wabanaki Public Health and Wellness on Hancock Street. The project aims to expand access to primary and preventive care for individuals in Bangor who experience significant social and physical barriers to healthcare and who are affected by SUD and co-occurring mental health conditions.



OFFICE OF THE CITY MANAGER

CITY OF BANGOR

Carolynn J. Lear
City Manager

Organization	Project Description	Recommended Award
Adoptive and Foster Families of Maine	This proposal directly addresses the intergenerational harms of the OUD/SUD crisis by focusing on placement stabilization and primary prevention. When children are removed due to parental substance use, they are placed with kinship caregivers who face immediate and overwhelming financial and emotional strain. The primary harm mitigated is caregiver burnout, which is a leading predictor of placement disruption. By providing funds for structured activities, KSRI offers caregivers essential respite time (reducing stress) and engages youth in protective, resilience-building environments (reducing their own risk factors for future SUD). This multi-layered approach protects the most vulnerable element—the child's stable home—which is necessary for long-term recovery and well-being.	\$12,500 ²
Wellspring	Short-term stabilization funding for services at risk due to changes in federal funding and Mainecare reimbursement while organization modifies their service delivery model to response to those changes. Organization provides counseling and coordinated care for individuals with OUD and co-occurring mental health conditions.	\$48,609
Boys & Girls Club of Bangor	BGCB will implement a comprehensive primary prevention initiative targeted at reducing early risk factors for youth substance use while strengthening protective conditions that help young people thrive. Our approach revolves around the creation of emotionally safe and relationship-rich environments wherein youth will find themselves supported by caring adults, engaging in skill-building experiences, and connecting with their families and community. Three-tiered approach: (1) build staff capacity regarding trauma-informed and promising prevention practices, (2) Implement SMART Moves: Emotional Wellness, an evidence-based substance use prevention curriculum, and (3) Family engagement and caregiver support.	\$10,000
Needlepoint Sanctuary	Create a Recovery Coach position embedded directly within the harm reduction and recovery center on Ohio Street.	\$34,000

² The applicant's proposal would have served individuals located both within and outside of Bangor. The Committee elected to only partially fund the project to reflect services provided only to Bangor residents.

Community Health and Counseling Services	Establish a Supported Housing Model at Theresa's Place, a permanent housing initiative for individuals and families experiencing homelessness. Currently, CHCS has temporary funding to support one full-time staff member; however, this staffing model must be strengthened to provide the comprehensive support necessary for a sustainable and effective program.	\$50,000
Bangor Y	Project would expand access to affordable childcare for Bangor families impacted by OUD/SUD, provide free mental health and prevention programs for adolescents impacted by OUD/SUD, and support health programs to support recovery.	\$50,000
Penobscot Community Health Center	Short-term stabilization/bridge funding for organizations transitional housing program due to transfer of facility ownership and associated changes to funding stream. Bridge funding will maintain the services offered while organization works with state and federal partners to identify a sustainable funding model, including billing to MaineCare.	\$50,000
Bangor Comprehensive Treatment Center	Expand access to OUD treatment and strengthen clinical capacity through two related efforts: providing MAT to underinsured and uninsured individuals and offering transportation assistance to those who are in need.	\$48,829.29
Crosspoint	Formal discipleship and recovery program for recently incarcerated men with OUD/SUD and co-occurring MH disorders. Men will live at facility for 6-12 months where organization will provide safe and supportive housing, mentorship, accountability, employment training, educational services, connections to care and community-based services; and transportation services. Will serve 8 individuals.	\$48,000
Saint Andre Home	\$10,000 to strengthen recovery support services for individuals living within the City of Bangor, including those who are unhoused or unstably housed. CourageLIVES provides trauma-informed, community-based behavioral health and recovery services for survivors of human trafficking, exploitation, and abuse, many of whom also struggle with OUD/SUD and co-occurring mental health conditions. Funding will expand our existing Peer Support Specialist (PSS) initiative by providing flexible, client-directed assistance that removes barriers to treatment, stabilizes basic needs, and improves access to essential supports.	\$10,000



OFFICE OF THE CITY MANAGER

CITY OF BANGOR

Carollynn J. Lear
City Manager

Blue Sky Counseling	The Bangor Integrated Opioid Treatment Program will expand access to evidence-based opioid use disorder treatment for uninsured Bangor residents by eliminating financial barriers to care. This project provides immediate access to intake assessments, medication for opioid use disorder, counseling, care coordination, and stabilization support, creating a rapid-entry pathway for individuals at highest risk of overdose.	\$50,000
GBA Counseling Services	Seeks to provide expansion of immediate and critical treatment access for uninsured individuals with Substance Use Disorder, specifically Opioid Use Disorders, and/or Co-Occurring Mental Health and Substance Use Disorder. Given the critical shortage of providers and lengthy or stalled waitlists expansion of our services are crucial. The requested \$30,000.00 will allow GBACS to immediately lease a three office units space and hire an additional licensed clinician. The location of the office and the additional licensed clinician have been located and are pending this funding. This request is to build on GBACS application for Opioid Settlement funding from Penobscot County, allowing 12 more individuals to access immediate and critical treatment, available via both Telehealth and in-person formats.	\$30,000
Metro Treatment of Maine	Expanding access to evidence-based Medication-Assisted Treatment (MAT) for individuals who might otherwise be unable to obtain care. By providing financial support through treatment scholarships, the project reduces barriers to initiating and sustaining MAT—an intervention proven to lower overdose deaths, reduce illicit opioid use, and improve long-term recovery outcomes. The project also supports earlier engagement in treatment following overdose or crisis, helping stabilize individuals and prevent repeat emergencies. As clients enter MAT, they also gain access to counseling, recovery supports, and wraparound services that address the social and behavioral factors contributing to opioid-related harm.	\$50,000
Preble Street	Preble Street requests funding to support Hope House, the only facility in Bangor that provides low-barrier, emergency shelter for people experiencing homelessness, SUD/ODU, and co-occurring mental health disorders. Funds will support people in their transition from homelessness and active substance use to stable housing and recovery.	\$50,000

Timberwolves NAC	The Bangor Community Wellness and Prevention Program Phase 2 expands upon the successful foundation established during the initial pilot. Phase 1 demonstrated a clear community need for trauma-informed prevention services, culturally grounded healing opportunities, family wellness education, youth-focused supports, and accessible harm-reduction training. Phase 2 strengthens and enlarges this work by broadening program capacity, deepening prevention supports, expanding targeted workshops, enhancing culturally rooted wellness offerings, and introducing a peer wellness leadership component that builds long-term sustainability.	\$50,000
Wabanaki Public Health	Would fund extended detox intake hours, increasing the availability of medication for opioid use disorder, and strengthening services to assist successful transition to ongoing treatment.	\$50,000
		TOTAL: \$641,938



**Finance Committee Agenda
Monday, March 2, 2026
Council Chambers, 73 Harlow St.
Immediately following City Council Workshop**

1. Bids/Purchases

- a. Sidewalk Tractor – Public Works – Beaugard Equipment, Inc. - \$229,542
- b. Mini Excavator – Public Works – Chadwick-Baross - \$92,555
- c. Bomb Squad X-Ray System – Police – Cuattro Imaging, LLC - \$62,000

2. Workout Agreement – 181 State Street – Butler

3. Write-Off of Real Estate Taxes – Various Mobile Homes

4. Recommendation for the City to Take Possession of Property



CITY OF BANGOR **AWARD RECOMMENDATION**

BID ITEMS: Sidewalk Tractor

DEPARTMENT: Public Works

BUDGET AMOUNT: 250,000 **AMOUNT OF AWARD:** 229,542

ACCOUNT NUMBER: 7750-91001150

VENDOR(S) RECOMMENDED: Beauregard Equipment, Inc.

Past Experience with Vendor : Excellent Good Fair
 Poor None

OTHER COMMENTS:

An RFP for a Public Works - Sidewalk Tractor resulted in three bids ranging from \$199,236.00 to \$243,362.00, with an extended warranty. Beauregard was the the middle bidder at \$229,542.39 (which includes the extended warranty for \$8,200). Staff recomends awarding the bid to Beauregard, which is the second to lowest bidder, due to the maintenance downtime on the current sidewalk tractor that we have in our Fleet, including the cost and wait time for parts we have experienced on the Multihog sidewalk tractor. For example, a windshield cost is \$1,500 and is shipped from Ireland for a Multihog, and a windshield for the MacLean is \$200 and can be purchased locally. The sidewalk tractor is budgeted for FY26. Staff requests approval to purchase the sidewalk tractor from Beauregard Equipment for \$229,542.39.



CITY OF BANGOR

City of Bangor Bid Tabulation

Bid: Sidewalk Tractor

Proposal No. P26-32

Bid Opening: February 11, 2026

	Beauregard Equipment, Inc.	Allied Equipment	HP Fairfield
	Hermon, ME	Hartland, ME	Skowhegan, ME
Sidewalk Tractor Price	\$ 165,500.00	\$ 153,318.00	\$ 182,271.25
V Blade Price	\$ 8,995.00	\$ 7,990.00	\$ 9,116.25
Salt and Sand Unit	\$ 8,000.00	\$ 5,650.00	\$ 9,167.00
Power Angle Broom Price	\$ 8,995.00	\$ 8,985.00	\$ 10,768.25
Snow Blower Price	\$ 20,450.00	\$ 15,983.00	\$ 21,217.50
Water Tank and Pump Kit Price	\$ 5,200.00	\$ 2,310.00	\$ 5,053.75
Total Proposal Amount	\$ 221,342.39	\$ 194,236.00	\$ 237,594.00
Year	2026	2026	2026
Make	Maclean	Multihog	Trackless
Model	MV6	CX-75	MT7
Estimated Delivery	90 Days	30 Days	90 Days
Optional Extended Warranty	\$ 8,200.00	\$ 5,000.00	Options in Quote
Warranty Terms	1year, 600 hr/3year PT	3 year, parts and labor	1 Year
Service Location	59 Contractor Drive Hermon, ME	Hartland, ME	9 Green St. Skowhegan ME



CITY OF BANGOR **AWARD RECOMMENDATION**

BID ITEMS: Mini Excavator

DEPARTMENT: Public Works

BUDGET AMOUNT: 92,555 **AMOUNT OF AWARD:** 92,555

ACCOUNT NUMBER: 7750-91001150

VENDOR(S) RECOMMENDED: Chadwick-Baross

Past Experience with Vendor : Excellent Good Fair
 Poor None

OTHER COMMENTS:

An RFP for a Public Works -Mini-Excavator resulted in ten bids ranging from \$92,555.06 to \$131,470.00. Staff recommends awarding the mini excavator purchase to Chadwick-Baross based on excellent past history with the City. Chadwick-Baross was also the lowest bidder at \$92,555. Funds for this will be coming from not purchasing a new sidewalk tractor in FY25 for \$218,000 which was budgeted and resulted in a carryover. Staff requests approval to use the funds from the FY25 savings to purchase the mini excavator from Chadwick-Baross for \$92,555.

3CX-15 Super



City of Bangor Bid Tabulation

Bid: Mini Excavator

Proposal No. P26-30

Bid Opening: February 4, 2026

CITY OF BANGOR

	Frank Martin Sons, Inc. Fort Kent, ME	Beauregard Equipment, Inc. Hermon, ME	Greenway Equipment Hermon, ME	Alamex, USA Inc. Manteca, CA
Mini Excavator Price	\$ 100,437.00	\$ 112,100.00	\$ 97,283.59	\$ 131,470.00
Year	2026	2026	2026	2026
Make	Hitachi	Case	John Deere	JCB
Model	ZX60-USB-5N	CX60D	60P	85Z-2
Estimated Delivery	Thirty Days	Ninety Days	Sixty Days	Ninety Days
Does Equipment Meet Specs	Yes	No	Yes	Yes
	Jordan Equipment Co. Hermon, ME	United Construction & Forestry Hermon, ME	Dorrs Equipment Bangor, ME	A2A Alliance Franklin, KY
Mini Excavator Price	\$ 93,393.19	\$ 106,000.00	\$ 96,945.00	\$ 102,900.00
Year	2026	2026	2026	2026
Make	Bobcat	John Deere	Kubota	Kubota
Model	E60	60P	KX057-5R3AP	KX057-5R3AP
Estimated Delivery	Five Weeks	Thirty Days	None Indicated	Ninety Days
Does Equipment Meet Specs	No	Yes	No	Not Indicated
	Alta Equipment Company Scarborough, ME	Chadwick-Baross Hermon, ME		
Mini Excavator Price	\$ 115,500.00	\$ 92,555.06		
Year	2025	2026		
Make	JCB	Volvo		
Model	852	EC65F		
Estimated Delivery	None Indicated	Mar-26		
Does Equipment Meet Specs	Yes	No		



CITY OF BANGOR **AWARD RECOMMENDATION**

BID ITEMS: Bomb Squad X-Ray System

DEPARTMENT: Police Department

BUDGET AMOUNT: 62,000 **AMOUNT OF AWARD:** 53,196

ACCOUNT: Police - CIP

VENDOR(S) RECOMMENDED: Cuatro Imaging LLC

Past Experience with Vendor : Excellent Good Fair
 Poor None

OTHER COMMENTS:

The Police Department has budgeted for the purchase of a bomb squad x-ray system. The RFP was posted on December 15th and received three bids ranging from \$49,894 and \$53,196. This purchase will be funded through FY26 budgeted capital. Cuattro Imaging was not the low bidder, but the quoted costs of each unit were very close and all within the allowable budget limit. Bomb Squad members have outlined several important distinctions between the units. The squad team leader will be available to answer questions during the Finance Committee meeting. The Police Department requests approval to purchase the bomb squad x-ray system for \$53,196.



CITY OF BANGOR

**City of Bangor Bid Tabulation
Bid: Police Department Bomb Squad X-Ray System
Proposal No. P26-23**

Bid Opening: January 14, 2026

	SharpLogixx, LLC.	Paladin Defense Services LLC	Cuattro Imaging LLC
	Green Bay, WI	Nicholasville, KY	Avon, CO
Bomb Squad X-Ray System Price	\$ 49,950.00	\$ 49,894.50	\$ 53,196.07



CITY OF BANGOR

TREASURY DIVISION

To: Members of the Finance Committee
From: Janelle Emerson, Tax Collector
Date: March 2, 2026
Re: Workout Agreement – 181 State Street – Butler, James

Mr. Butler requested a meeting with City staff regarding the delinquent taxes and utility on the property located at 181 State Street and what his options are to redeem the property. There are multiple tax and utility liens on the property, including matured liens for both, totaling approximately \$60,010.00. Mr. Butler is interested in redeeming the property and has proposed a workout agreement calling for a minimum payment of \$6,500.00 per quarter. The terms of the agreement would also require all new charges to be paid on time and the agreement would be for 1 year. In addition to entering into the workout agreement to pay his back taxes and utility, Mr. Butler would be required to enter into an agreement with Community & Economic Development to address the Vacant Building Registry fees. If all terms of the workout agreement have been met at the end of the 1-year expiration, Mr. Butler may request a new agreement for the remainder of what is owed.

Staff recommends approval.



TREASURY DIVISION

CITY OF BANGOR

To: Members of the Finance Committee

From: Janelle Emerson, Tax Collector

Date: March 2, 2026

RE: Write-off of real estate taxes – various mobile homes – RE 5775, 4926, 10101, 4567

Staff has determined that the following mobile homes are no longer located in Bangor and the real estate account has been deleted by the Assessing Department. All have outstanding taxes still due, however, staff feels the cost of attempting to track down the previous owners or the mobile home itself to enforce our municipal lien would exceed the balance due. Mobile homes in a park tend to be bought, sold, and/or moved with no notice or payments to the City. Staff is recommending that the City write-off the amounts due to the overlay account and clear these accounts off the City books.

- 13 Martel's Mobile Home Park - \$606.88
- 28 Martel's Mobile Home Park - \$234.80
- 35 Martel's Mobile Home Park - \$223.81
- 157 Holiday Park - \$364.85

Total write-off - \$1,430.34



TREASURY DIVISION

CITY OF BANGOR

To: Members of the Finance Committee
From: Janelle Emerson, Tax Collector
Date: March 2, 2026
Re: Recommending Taking Possession of 290 Pearl Street

The City has 84 properties with matured tax liens on them, these properties consist of vacant land, vacant buildings, and properties that are occupied. Staff's approach is typically to first focus on properties that are vacant land, properties in which the Police, Code, or the Treasury Department received multiple complaints, and/or properties known to be vacant and not registered on the Vacant Building Registry.

Per the City's Matured Tax or Utility Lien Policy, City staff from Treasury, Finance, Community & Economic Development, and the Legal Department met to discuss the the above mentioned property prior to the Legal Department commencing a Rule 80K action in court for not complying with the City's Vacant Building Registry ordinance.

The City's Treasury office has worked with Ms. Rambo for several years in regards to her back taxes on 290 Pearl Street and her home at 298 Center Street with workout agreements and partial payment waivers allowing her to make payments to attempt to redeem both of her properties. For a few years, Ms. Rambo was able to comply with the workout agreements, however, over the last few years she has not been able to financially afford to do so. The Matured Property Group thought it best to enforce the matured tax liens on the property rather than pursuing the Rule 80K action through the court for noncompliance of the Vacant Building Registry. As a courtesy to Ms. Rambo the City's Tax Collector mailed a letter by regular mail to the last known address and spoke with her by phone to inform her that the City was moving forward with taking possession of the property and the date of the Finance Committee meeting it was scheduled for.

290 Pearl Street - Map/Lot: 052-125-B – Assessed to Rambo, Ruth A

The property has a total due to the City of approximately \$26,221

Current assessed value: \$154,300

Total of Real Estate: \$26,187

Total of Sewer/Stormwater: \$34

Vacant Building Registry: \$0

Zoned: Urban Residence 1 District

Staff's Recommendation: Sell as residential

The City's Matured Tax or Utility Lien Policy has been modified to comply with State law that amended the process for the sale of foreclosed properties. Once acquired, staff will secure and insure the property, conduct a full inspection to determine the condition of the property, and dispose of any personal property in accordance with State law. We are also required to notify the prior owner 90 days before the City can list and sell the property through the recently approved residential or commercial realtor.

If the property sells for more than the amount due to the City, the new law requires any excess funds be returned to the prior owner, less any allowable costs. Allowable costs include insuring and securing the property as well as administrative costs.

A Photo of the parcel is included.

With your approval, a Council Order to take possession will be presented at the next full Council meeting.





CITY OF BANGOR

Government Operations Committee
Monday, March 2, 2026
73 Harlow Street, Council Chambers
Will immediately follow Finance Committee

AGENDA

1. City Clerk Update
2. Order: Authorizing the Application to NASTAD for \$500,000 Grant Funding to Support a Two-Year Program to Increase Support for People Living with HIV
3. Revised Homelessness Committee/Task Force Drafts
4. Referral: Resolve Appropriating from Undesignated Fund Balance in the Amount of Up to \$50,000 to Fund a Director of Human Resources Position
5. Executive Session: 1 M.R.S.A. § 405(6)(E) – Consultation with Legal Counsel
6. Referral: Ordinance Amending the Code of the City of Bangor to Establish Chapter 46, “Employee Authority in Immigration Matters”

Upcoming Items (subject to change)

(Items may go to Government Operations Committee or be moved to another committee, depending on timing.)

- *Ordinance: Creation of a Standing Advisory Committee on Housing Item – 4/6*
- *Community Connector Update*
- *Built for Zero – HUB 7 Update*

To: Government Operations Committee
From: Lisa Goodwin, City Clerk
Date: February 26, 2025
Re: Records Department Update

Utility Billing

- Billing is now current following delays caused by the Water District software conversion.
- Minor data issues remain but are not causing significant delays.
- Online payment implementation was postponed while billing issues were resolved. Testing has begun, and some errors need correction before going live.

Tax Collection

- **Certification:** Tax Collector **Janelle Emerson** earned her certification from the Maine Tax Collectors and Treasurers' Association after completing specialized training.
- **Plate Issuance:** The new plate rollout will conclude by **April 30, 2026**. "Tree" or "No Tree" plates replaced chickadee plates starting last May. After April 30th, chickadee plates should only appear if an owner is awaiting receipt of a reserved plate.
- **Rental Vehicle Registrations:** The office has registered 403 vehicles since the new rental vehicle contracts with the Airport began in November.

Elections

- **Nomination Petitions:** Clerk's office has been verifying petitions for State and Federal candidates. Filing deadline: **March 16, 2026**.
- **Primary Election:** Scheduled for **June 9, 2026**. Maine's semi-open primary allows unenrolled voters to participate.
- **Absentee Voting:**
 - Applications available **April 9, 2026**.
 - On-going absentee applications now open to all voters (previously limited to seniors and those with disabilities).
 - In-person absentee voting for June will occur **only at City Hall**; no early voting at Cross Insurance Center.
- **Election Clerks & Voter Registration Appeals Board Appointments:** Per State law, Municipal officers must appoint election clerks by **May 1st** for a two-year term. They must also appoint members to the Voter Registration Appeals Board (VRAB). The two major political parties nominate a regular and associate member to the VRAB and may submit nominees to serve as election Clerks. The City Clerk nominates the chair of the VRAB. These nominees will be presented to the full Council in April.
- **New Voter Registration System:** Scheduled to launch in April. Mandatory State training required for all users before they are granted access.
- **Staff Development Day:** Department will close to the public on **Wednesday, April 8, 2026** for training. Customer service window and other City Hall departments will remain open. Public notice will be coordinated through the City Manager's office.



CITY COUNCIL ACTION

03/02/2026

Council Meeting Date: 03/02/2026

Item No:

Responsible Dept: Health & Community Services

Requested Action: Order

Map/Lot: N/A

Title, Order

Authorizing the City Manager to Apply for a \$500,000 Grant from NASTAD to Support a Two Year Program to Increase Support and Connections to Care for People Living with HIV

Summary

This Order would authorize the City Manager to apply for a \$500,000 grant from NASTAD to support a two year program to increase support and connections to care for people living with HIV.

The National Alliance of State and Territorial AIDS Directors, commonly called NASTAD, has a grant opportunity available with the purpose of supporting the re-engagement of people living with HIV that have been out of care and without routine HIV treatment. Adhering to HIV treatment plans is essential to achieve viral suppression. This grant opportunity is aimed at breaking down barriers to care and treatment.

If awarded, Bangor Public Health and Community Services would use the funds to expand its case management services and implement solutions for engagement and adherence, covering costs for staff, incentives, transportation, and other expenses that align with the work plan. The Department would partner with community organizations to offer a robust and comprehensive program.

Committee Action

Committee: Government Operations Committee

Meeting Date: 03/02/2026

Action:

For:

Against:

Previous Council Actions

City Manager

City Solicitor

Finance Director

Introduced for: New Business



CITY OF BANGOR ORDER

03/02/2026

Date: 03/02/2026

Item No:

Assigned to Councilor:

Authorizing the City Manager to Apply for a \$500,000 Grant from NASTAD to Support a Two Year Program to Increase Support and Connections to Care for People Living with HIV

Be It Ordered by the City Council of the City of Bangor That, the City Manager, or designee, is hereby authorized to apply for a \$500,000 grant from NASTAD for the purpose of supporting a two year program supporting individuals living with HIV.



OFFICE OF THE CITY MANAGER

CITY OF BANGOR

Carolynn J. Lear
City Manager

To: Government Operations Committee
From: Carolynn Lear, City Manager
Date: March 2, 2026
RE: Revised Homelessness Committee/Task Force Drafts

During the Special Government Operations Committee meeting on February 18, 2026, Council discussed a draft ordinance establishing a Standing Committee on Homelessness and Affordable Housing. Based on Council feedback, that draft has been revised as follows:

- The topics of homelessness and affordable housing will be divided into two distinct committees. The attached drafts reflect the topic of homelessness, which Council desired to address first. The topic of affordable housing will be addressed in a later meeting.
- The Superintendent or designee has been added to the list of ex officio (non-voting) members.
- Lived experience has been addressed by establishing a non-mandatory goal of 1/3 as determined through self-identification in the application process.
- The Committee has been reduced to nine (9) seats.
- The Committee make-up includes a non-mandated list of the types of expertise Council is seeking, but Council retains discretion on who to ultimately appoint.
- Medication assisted treatment experience has been added to the types of desired experience on the Committee.
- The voting requirement for passage of a Committee recommendation has been clarified.

I would like clarity on whether Council would like this to remain a permanent standing committee, or if, given the modification to the scope of the committee, it should take the form of a temporary task force. The two drafts that accompany this item reflect the two different approaches.



CITY COUNCIL ACTION

Council Meeting Date: March 9, 2026

Item No: 26-

Responsible Dept: City Manager

Action Requested: Ordinance

Map/Lot: N/A

Title, Order

Establishing a Homelessness Task Force

Summary

During City Council’s annual priority setting session in December, City Council selected addressing homelessness as its top priority for the coming year.

In subsequent discussions, Council coalesced around the creation of a task force to help advise Council on its approach to addressing homelessness.

This task force would include a mix of experts in homelessness, individuals with lived experience with homelessness or housing instability, peer municipalities, and community members impacted by homelessness issues. Supplemental expertise would be provided by the City’s Homeless Response Coordinator and other experts from the City’s Department of Public Health & Community Services, Community & Economic Development, School Department, and Public Safety.

The task force’s charge is to create a strategic plan for the City’s response to homelessness that is data driven, evidence informed, and that considers regional and structural coordination.

Committee Action

Committee: Government Operations

Meeting Date: March 2, 2026

Action:

For:

Against:

Staff Comments & Approvals

City Manager

City Solicitor

Finance Director

Introduced for: First Reading



CITY COUNCIL ORDINANCE

Date: March 9, 2026

Assigned to Councilor:

ORDER, Establishing a Homelessness Task Force

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BANGOR AS FOLLOWS, THAT

In accordance with Chapter 9, Article I, Section 9-9 of the Code of the City of Bangor, there is hereby established a Homelessness Task Force.

Purpose. The purpose of the Task Force is to create a strategic plan for the City's response to homelessness that is data driven, evidence informed, and that considers regional and structural coordination. Critical components will include specific strategies for homelessness prevention, encampment response, and other necessary City policies needed to effectively address homelessness within the City. The Committee shall submit a strategic plan for Council review and adoption not later than twelve months from the Committee's first meeting.

Composition.

- A. The Task Force shall consist of **nine** regular voting members appointed by the City Council. All members shall be at-large members. The Council shall work to include members with a wide variety of perspectives and interests on the Task Force, such as, but not limited to:
 - a. Local service provider(s) with experience managing shelters or other housing types for the unhoused population in Bangor.
 - b. Local service provider(s) that provide direct service outreach to the unhoused population in Bangor.
 - c. Local service provider(s) with experience providing mental health treatment or support to the unhoused population in Bangor.
 - d. Local service provider(s) with experience providing treatment, including medication assisted treatment, recovery, or harm reduction services or support to individuals that are unhoused and with substance use disorders.
 - e. Representatives of Northern Light EMMC, St. Joseph Healthcare, and/or Penobscot Community Health Center.
 - f. An individual that is a landlord with experience working with individuals utilizing housing vouchers.
 - g. A Bangor business-owner impacted by the City's homelessness crisis.
 - h. Representatives of Penobscot County and/or surrounding municipalities.
 - i. Other experts in homelessness response or associated areas that Council believes contributes to the work of the Task Force.
- B. The City shall solicit interest in Task Force membership through a public application and nomination process. Applicants will be interviewed and recommended for appointment by the Personnel Committee and appointed by the City Council.
- C. The City Council recognizes that solutions to homelessness must be informed by those who have lived it. Therefore, in making appointments, the Council and the Personnel Committee shall consider applicants with current or past lived experiences of homelessness or housing instability as disclosed

through self-identification with a non-binding goal of at least three Task Force members with lived experience.

- D. To ensure Task Force recommendations are operationally viable, staff from the following City departments shall be assigned to serve as permanent Ex-Officio (non-voting) technical advisors: (1) Public Health, (2) Community & Economic Development, (3) Public Safety, and (4) School Department.
- E. The Council Chair shall annually appoint a member of the City Council, as a non-voting member and a liaison between the Council and the Task Force. This term shall expire on the first Monday in November following the regular City election, at which time the Chair for the ensuing year shall make a new appointment. Any liaison appointed mid-term shall only serve until the next such Monday in November.
- F. Regular members of the Task Force shall be selected primarily on the basis of the guidelines outlined above, but preference may be given to appointing members who are residents of the City of Bangor and/or have lived experience with homelessness or housing instability. Task Force members shall receive no compensation for their service.

Term. The Task Force shall remain in existence for eighteen (18) months. This term may be extended as authorized by the City Council.

Officers. The Task Force shall elect a Chair, a Vice Chair, and a Secretary from among its voting members.

Meetings. The Task Force shall meet at least monthly, but more frequent meetings may occur.

Quarterly Reporting. Beginning three months following the date of the first Task Force meeting, and quarterly thereafter, the Task Force shall prepare and submit to the City Council a report outlining its activities during the preceding calendar quarter.

Committee Action. A quorum shall consist of a simple majority of the Task Force's voting members and recommendations shall require at least five affirmative votes to pass.



CITY COUNCIL ACTION

Council Meeting Date: March 9, 2026

Item No: 26-

Responsible Dept: City Manager

Action Requested: Ordinance

Map/Lot: N/A

Title, Ordinance

Amending the Code of the City of Bangor to Create a Standing Committee on Homelessness

Summary

During City Council’s annual priority setting session in December, City Council selected addressing homelessness as its top priority for the coming year.

In subsequent discussions, Council coalesced around the creation of a standing committee to help advise Council on its approach to addressing homelessness.

This standing committee would include a mix of experts in homelessness, individuals with lived experience with homelessness or housing instability, peer municipalities, and community members impacted by homelessness issues. Supplemental expertise would be provided by the City’s Homeless Response Coordinator and other experts from the City’s Department of Public Health & Community Services, Community & Economic Development, School Department, and Public Safety.

The Committee’s initial charge is to create a strategic plan for the City’s response to homelessness that is data driven, evidence informed, and that considers regional and structural coordination. Following completion of this initial charge, the Committee’s mission is broadened to more expansively consider issues impacting homelessness including better regional and structural coordination, identifying and quantifying gaps, recommending sustainable funding strategies, reviewing state legislative proposals, reviewing and providing feedback on items coming before Council and community stakeholder engagement.

Committee Action

Committee: Government Operations

Meeting Date: March 2, 2026

Action:

For:

Against:

Staff Comments & Approvals

City Manager

City Solicitor

Finance Director

Introduced for: First Reading



CITY COUNCIL ORDINANCE

Date: March 9, 2026

Assigned to Councilor:

ORDINANCE, Amending the Code of the City of Bangor to Create Standing Committee on Homelessness

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BANGOR AS FOLLOWS, THAT

The Code of the City of Bangor is amended as follows:

Chapter 23 Boards, Committees and Commissions

...

Article VII Advisory Committee on Homelessness

...

§ 23-47. Committee establishment; membership; and mission.

- A. There is hereby established the Advisory Committee on Homelessness. The Committee's initial task will be to create a strategic plan for the City's response to homelessness that is data driven, evidence informed, and that considers regional and structural coordination. After the completion of this initial task, the Committee will broaden its scope to include more broadly developing and advising Council on strategies and policies to prevent and end homelessness.
- B. The Committee shall consist of nine regular voting members appointed by the City Council. All members shall be at-large members. The Council shall work to include members with a wide variety of perspectives and interests on the Committee, such as, but not limited to:
 - (1) Local service provider(s) with experience managing shelters or other housing types for the unhoused population in Bangor.
 - (2) Local service provider(s) that provide direct service outreach to the unhoused population in Bangor.
 - (3) Local service provider(s) with experience providing mental health treatment or support to the unhoused population in Bangor.
 - (4) Local service provider(s) with experience providing treatment, including medication assisted treatment, recovery, or harm reduction services or support to individuals that are unhoused and with substance use disorders.
 - (5) Representatives of Northern Light EMMC, St. Joseph Healthcare, and/or Penobscot Community Health Center.
 - (6) An individual that is a landlord with experience working with individuals utilizing housing vouchers.
 - (7) A Bangor business-owner impacted by the City's homelessness crisis.
 - (8) Representatives of Penobscot County and/or surrounding municipalities.
 - (9) Other experts in homelessness response or associated areas that Council believes contributes to the work of the Committee.
- C. The City shall solicit interest in Committee membership through a public application and nomination process. Applicants will be interviewed and recommended for appointment by the Personnel Committee and appointed by the City Council.
- D. The City Council recognizes that solutions to homelessness must be informed by those who have lived it. Therefore, in making appointments, the Council and the Personnel Committee shall consider applicants with current or past lived experiences of homelessness or housing instability as disclosed

through self-identification with a non-binding goal of at least three Committee members with lived experience.

- E. To ensure Committee recommendations are operationally viable, staff from the following City departments shall be assigned to serve as permanent Ex-Officio (non-voting) technical advisors: (1) Public Health, (2) Community & Economic Development, (3) Public Safety, and (4) School Department.
- F. The Council Chair shall annually appoint a member of the City Council, as a non-voting member and a liaison between the Council and the Committee. This term shall expire on the first Monday in November following the regular City election, at which time the Chair for the ensuing year shall make a new appointment. Any liaison appointed mid-term shall only serve until the next such Monday in November.

§ 23-48. Residency; salaries and compensation.

Regular members of the Committee shall be selected primarily on the basis of the guidelines outlined above, but preference may be given to appointing members who are residents of the City of Bangor and/or have lived experience with homelessness or housing instability. Committee members shall receive no compensation for their service.

§ 23-49. Terms of office.

- A. For initial appointment, Council shall appoint three representatives for a term of one year, three representatives for a term of two years, and three representatives for a term of three years. Thereafter, the term of each regular member shall be for three years or until their successor has been appointed.
- B. Any vacancy shall be filled in the same manner for the unexpired term.

§ 23-50. Officers.

The Committee shall annually elect a Chair, a Vice Chair, and a Secretary from among its voting members.

§ 23-51. Meetings; quarterly report; quorum; cause for removal.

- A. The Committee shall meet at least monthly, but more frequent meetings may occur.
- B. Beginning three months following the date of the first Committee meeting, and quarterly thereafter, the Committee shall prepare and submit to the City Council a report outlining its activities during the preceding calendar quarter.
- C. A quorum shall consist of a simple majority of the Committee's voting members and recommendations shall require at least five affirmative votes to pass.

§ 23-52. Mission.

- A. The Committee's initial charge is to create a strategic plan for the City's response to homelessness that is data driven, evidence informed, and that considers regional and structural coordination. Critical components will include specific strategies for homelessness prevention, encampment response, and other necessary City policies needed to effectively address homelessness within the City. The Committee shall submit a strategic plan for Council review and adoption not later than twelve months from the Committee's first meeting.
- B. Following the completion of the Committee's initial charge, the Committee's mission is to:
 - (1) Consider and recommend ways to ensure better regional and structural coordination on homelessness, which may include evaluating the policies and ordinances in surrounding municipalities and at the county-level, advocating for a fairer regional sharing of investments, and evaluating how the City can better align with state-level efforts.
 - (2) Recommend a sustainable municipal funding strategy for the City's response to homelessness, including, but not limited to, planning for changes to state and federal funding to the existing voucher system, researching and presenting creative and non-traditional funding mechanisms, and reviewing opportunities to leverage existing and future City investments.

- (3) Review state legislative proposals that impact homelessness and make recommendations to Council regarding legislative proposals that the City should consider supporting or opposing. The Committee may also make recommendations to Council regarding legislative proposals that the City should consider seeking sponsorship.
- (4) Review, consider, and provide feedback on all items that Council refers to the Committee for this purpose.
- (5) Proactively engage the City's diverse community stakeholders to incorporate broad community input into the recommendations made to Council

Additions underlined, deletions ~~struck through~~



CITY COUNCIL ACTION

02/09/2026 26-090

Council Meeting Date: 02/09/2026

Item No: 26-090

Responsible Dept: City Manager

Requested Action: Resolve

Map/Lot: N/A

Title, Resolve

Making an Appropriation from Undesignated Fund Balance in the Amount of Up to \$50,000 to Fund a Director of Human Resources

Summary

Currently, the City of Bangor's Assistant City Manager concurrently holds the title of Chief Human Resources Officer and Chief Labor Relations Officer with the human resources and labor relations functions occupying at least half of the Assistant City Manager's working hours. Given the size of the City's workforce and the critical importance of the City's employees, it is beneficial for there to be a stand-alone Department Head-level position that leads the City's human resources and labor relations functions. By creating a new Director of Human Resources position, the City acknowledges the critical importance of its employees. A survey of the five largest cities in Maine shows that Bangor is the only City without a stand-alone Director-level human resources role. The City's greatest asset is our employees and focused leadership on hiring, training, and labor relations will ensure that the City is utilizing this asset to the greatest public benefit.

Additionally, removing human resources and labor relations from the Assistant City Manager role will allow the Assistant City Manager to refocus on important technology projects, public outreach and communications, and process improvement - which will result in increased efficiency, cost savings, and better customer service.

Committee Action

Committee: Government Operations Committee
Action:

Meeting Date: 03/02/2026
For: Against:

Staff Comments & Approvals

City Manager

City Solicitor

Finance Director

Introduced for: First Reading & Referral

Government Operations Committee

02/16/2026



CITY OF BANGOR RESOLVE

02/09/2026 26-090

Date: 02/09/2026

Item No: 26-090

Assigned to Councilor: Leonard

Making an Appropriation from Undesignated Fund Balance in the Amount of Up to \$50,000 to Fund a Director of Human Resources

NOW, THEREFORE, BE IT RESOLVED, that the Bangor City Council, authorizes the appropriation of \$50,000 from undesignated fund balance to fund a Director of Human resources.



OFFICE OF THE CITY MANAGER

CITY OF BANGOR

Carolynn J. Lear
City Manager

To: Government Operations Committee

From: Carolynn Lear, City Manager

Date: March 2, 2026

RE: Council Order 26-095 – Amending the Code of the City of Bangor to Establish Chapter 46, “Employee Authority in Immigration Matters”

At Council’s February 25, 2026 regular meeting, Council voted to refer Council Order 26-095 – Amending the Code of the City of Bangor to Establish Chapter 46, “Employee Authority in Immigration Matters” to the March 2, 2026 Government Operations Committee meeting. That Council Order immediately follows this memo. Staff will be available to provide input and answer questions regarding the Council Order at the Government Operations Committee meeting.



CITY COUNCIL ACTION

Council Meeting Date: February 23, 2026

Item No: 26-095

Responsible Dept: City Councilor

Action Requested: Ordinance

Map/Lot: N/A

Title, Ordinance

Amending the Code of the City of Bangor to Establish Chapter 46, "Employee Authority in Immigration Matters"

Summary

This Ordinance establishes clear limits on the City of Bangor’s involvement in federal immigration enforcement, consistent with federal and state law, in order to prioritize public safety, community trust, and the responsible use of municipal resources.

The ordinance makes explicit that Bangor does not operate its departments, programs, or public safety services for the purpose of enforcing federal civil immigration laws. It affirms that City employees will continue to comply with all valid federal and state laws, judicial warrants, subpoenas, and court orders, and will continue to cooperate fully in the investigation and prosecution of criminal activity. What this ordinance does is draw a firm line between local public safety responsibilities and federal civil immigration enforcement.

The ordinance is grounded in a public safety rationale. When residents are afraid that routine interactions with local government could expose them or their family members to immigration enforcement, they are less likely to report crimes, seek emergency assistance, cooperate with investigations, or access basic City services. This ordinance is intended to preserve trust between the City and the people it serves, which is essential to effective policing, emergency response, and community well-being. Furthermore, this policy ensures that Bangor’s limited tax dollars are reserved for local safety priorities rather than being diverted to unfunded federal enforcement mandates.

This ordinance affirms that Bangor’s role is to keep its residents safe, uphold the law, and ensure transparency and accountability in the use of public resources—not to serve as an extension of federal civil immigration enforcement.

Committee Action

Committee: Government Operations

Meeting Date: March 2, 2026

Action:

For:

Against:

Staff Comments & Approvals

City Manager

City Solicitor

Finance Director

Introduced for: First Reading & Referral



CITY COUNCIL ORDINANCE

Date: February 23, 2026

Assigned to Councilor: Beck

ORDINANCE, Amending the Code of the City of Bangor to Establish Chapter 46, "Employee Authority in Immigration Matters."

WHEREAS, the City of Bangor is committed to fostering a welcoming environment grounded in equal protection, equal treatment, and mutual trust for all residents, regardless of race, ethnicity, national origin, or immigration status; and

WHEREAS, Bangor is home to residents of diverse backgrounds, including immigrants, refugees, asylum seekers, and mixed-status families, all of whom are integral to the City's social, cultural, and economic life; and

WHEREAS, the City Council has a responsibility to ensure that all residents feel safe reporting crimes, seeking emergency assistance, cooperating with law enforcement, and accessing City services without fear of retaliation or collateral consequences unrelated to local public safety; and

WHEREAS, local public safety is strengthened—not weakened—when municipal governments maintain clear boundaries between local law enforcement and federal civil immigration enforcement; and

WHEREAS, when municipal employees are perceived as agents of federal immigration enforcement, community trust erodes, crimes go unreported, victims and witnesses disengage, and public safety outcomes deteriorate; and

WHEREAS, the City Council finds it necessary and prudent to prioritize the use of Bangor's limited municipal resources for the advancement of local public safety, public health, emergency response, and community well-being, rather than the enforcement of federal civil immigration laws; and

WHEREAS, the City further finds that involvement of City personnel in federal immigration enforcement would divert resources from these core municipal functions, undermine community trust, and discourage residents from seeking local assistance; and

WHEREAS, formal agreements to deputize local employees for federal immigration enforcement, such as 287(g) agreements, often impose significant and disproportionate financial burdens on municipal budgets by diverting local taxpayer dollars toward personnel, training, and administrative costs that are not fully reimbursed by the federal government; and

WHEREAS, federal immigration enforcement is a federal responsibility, and nothing in federal or Maine law requires municipalities to use local personnel, funds, facilities, data, or technology to enforce federal civil immigration laws; and

WHEREAS, the City of Bangor possesses broad home-rule authority under the Maine Constitution and state law to determine how its personnel and resources are deployed in furtherance of legitimate municipal purposes; and

WHEREAS, clarity regarding the authority and limitations of City employees reduces legal risk, prevents inconsistent practices, and ensures lawful, professional, and accountable conduct across all City departments; and

WHEREAS, public safety and accountability are strengthened when government officials are clearly identifiable and transparent in their actions; and

WHEREAS, the City finds it necessary to ensure that City-owned property, including buildings, parks, and parking facilities, is reserved for municipal functions in order to ensure these spaces remain open, safe, and accessible to all residents for their intended civic and recreational purposes; and

WHEREAS, transparency and public accountability are essential to democratic governance, particularly when City public safety personnel interact or cooperate with federal law enforcement agencies; and

WHEREAS, the City of Bangor remains fully committed to complying with all applicable federal and state laws, including the execution of judicial warrants, court orders, subpoenas, and the investigation and prosecution of criminal activity; and

WHEREAS, establishing a clear, comprehensive, and enforceable municipal policy governing employee authority in immigration matters serves the best interests of the City, its residents, and its public servants; and

WHEREAS, this ordinance is intended to strengthen public safety, preserve civil liberties, promote transparency, and ensure the responsible stewardship of public resources while respecting the rule of law.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BANGOR AS FOLLOWS, THAT

The Code of the City of Bangor is hereby amended by the enactment of Chapter 46, "Employee Authority in Immigration Matters," as follows:

Chapter 46: EMPLOYEE AUTHORITY IN IMMIGRATION MATTERS

§ 46-1. Definitions. As used in this chapter, the following terms shall have the meanings indicated:

ADMINISTRATIVE WARRANT — A non-judicial warrant or arrest document issued by a federal immigration authority, which has not been reviewed or signed by a judge or magistrate of a court of law.

CITIZENSHIP OR IMMIGRATION STATUS — An individual's citizenship or immigration status, as such status is defined in federal law.

CITY EMPLOYEE — Any individual working for the City of Bangor on a permanent or temporary basis, including volunteers, appointed members of boards, commissions, and committees, and those drawing an hourly wage or salary.

CONTACT INFORMATION — Includes home address, work address, telephone number, electronic mail address, social media contact information, or any other means of contacting an individual.

FEDERAL AGENCY — Means the United States Immigration and Customs Enforcement (ICE) agency, the United States Customs and Border Protection (CBP) agency, and any other federal agency or successor agency engaged in immigrant enforcement operations.

IMMIGRATION ENFORCEMENT OPERATION — Any operation that has as its main objective the identification or apprehension of a person or persons: (1) in order to subject them to civil immigration detention, removal, or deportation proceedings; or (2) to criminally prosecute a person for offenses related to immigration status, including but not limited to violations of 8 U.S.C. §§ 1325, 1326, or 18 U.S.C. § 1546.

JUDICIAL WARRANT — An order issued by a state or federal judge or magistrate that authorizes a specific law enforcement action.

MUNICIPAL DEPARTMENT — Every City department, agency, division, commission, council, committee, board, other body, agent, or person established by charter, authority of an ordinance, executive order, or City Council order.

NON-PUBLIC AREA — Area that the general public is not free to enter or access. This includes restricted access areas within buildings and spaces that are otherwise predominantly public, and periods of time during which otherwise public areas are closed for operation.

PUBLIC AREA — Area that the general public is free to enter to access. This includes vestibules, lobbies or waiting rooms of buildings and spaces that are otherwise predominantly nonpublic.

REQUIRED BY LAW — A mandate contained in a state/federal statute or a Judicial Warrant. This term specifically excludes Administrative Warrants, detainer requests, or informal requests.

§ 46-2. Purpose and policy statement.

A. Purpose. This chapter clarifies the relationship between the City of Bangor and the federal government, including the United States Department of Homeland Security and its component agencies, with respect to the investigation, enforcement, or assistance in the enforcement of federal immigration laws.

B. Policy. The City of Bangor cooperates with federal and state agencies as required by law, but the City does not operate its departments, programs, or services for the purpose of enforcing federal civil immigration laws or federal criminal immigration laws that penalize a person's presence in, entry into, reentry into, or employment in the United States, absent other criminal conduct.

C. Exclusive regulation. This chapter constitutes the sole municipal regulation governing City involvement in federal immigration enforcement and supersedes any inconsistent policy, rule, or practice.

§ 46-3. General City services.

A. Administration of services.

(1) City employees shall perform their duties solely for the purpose of administering general City services and programs. Employees may complete employment eligibility verification forms (Form I-9) and comply with

lawful federal audits or inspections of such forms as required by law.

(2) City employees shall comply with properly issued judicial subpoenas or other compulsory legal process when required by law, including those related to immigration matters.

(3) Employees may request proof of identity only when authorized and necessary for the performance of their duties. No person shall be subjected to greater scrutiny or different treatment based on immigration status or on the presentation of non-U.S. identity documents.

B. Prohibition on use of City resources.

Except as required by law, City employees, contractors, and representatives shall not use City funds, facilities, equipment, technology, data, or personnel for the purpose of detecting, detaining, apprehending, facilitating, or investigating individuals whose sole alleged violation of law is a civil immigration violation. This includes, but is not limited to, investigating or interrogating persons, providing logistical support, or sharing non-public information for federal immigration enforcement purposes.

(1) Information Security. No City employee or department shall enter into any contractual agreement or arrangement with a federal agency to provide access to any database operated by a City department where the purpose of such access includes assisting or supporting immigration enforcement operations.

(2) Contact Information. Unless presented with a valid and properly issued judicial warrant, no City employee or department shall provide contact information, custody status, or work address to a federal agency for the purpose of an immigration enforcement operation.

C. Requesting information prohibited. No City employee or department shall request information from a person about their citizenship or immigration status, unless such inquiry or investigation is required by ordinance, court order, or state or federal law.

D. Training.

The City shall provide initial and ongoing training for employees regarding this chapter and related policies. Training shall include, at a minimum:

- (1) The requirements of this chapter;
- (2) The distinction between judicial warrants and administrative warrants;
- (3) The distinction between public and non-public City areas;
- (4) Procedures for responding to requests from federal immigration authorities;
- (5) Escalation protocols for urgent or complex situations; and
- (6) Supervisory responsibilities and available City resources.

§ 46-4. Access to City property.

A. Restricted use of City property. No City employee or department shall grant any federal agency access to any City-owned facility or property for an immigration enforcement operation, unless required by law.

B. Non-public areas. Non-public City spaces are not open for federal immigration enforcement activities absent a valid judicial warrant or other legal obligation. City employees are not authorized to consent to access to such spaces in lieu of a judicial warrant.

C. Limitation of Scope. Nothing in this section shall be construed to interfere with compliance with existing contracts, court orders, judicial warrants, or the enforcement of criminal law, or to restrict rights guaranteed under state or federal law.

§ 46-5. Public safety services.

A. Limitations.

- (1) **Stops and Detentions.** No City employee shall stop, arrest, detain, interrogate, or continue to detain a person for immigration enforcement operation purposes, including pursuant to an immigration detainer, an administrative immigration warrant, or suspicion that the person is not present legally in the United States.
- (2) **Traffic Perimeters.** No City public safety personnel shall establish traffic perimeters for the purpose of assisting or supporting a federal immigration enforcement operation.

B. Prohibited agreements. The City shall not enter into any agreement, including under 8 U.S.C. § 1357(g), to deputize City employees to enforce federal immigration laws, nor any agreement to authorize the custodial transfer or detention of a person for immigration enforcement purposes, including Intergovernmental Service Agreements (IGSAs) or riders to such agreements.

C. Permitted cooperation. Nothing in this chapter prohibits City public safety personnel from cooperating with federal authorities in the investigation of a serious crime such as human trafficking, sex trafficking, drug trafficking, or firearms trafficking.

D. Access to Persons in Custody.

Unless presented with a valid judicial warrant, public safety personnel shall not:

- (1) Permit ICE or CBP agents to access a person being detained by, or in the custody of, the City;
- (2) Transfer any person into ICE or CBP custody;
- (3) Permit ICE or CBP agents to use City facilities, information, or equipment (including electronic databases) for investigative interviews, other investigative purposes, or for purposes of executing an immigration enforcement operation; or
- (4) Expend time to respond to immigration-related ICE or CBP inquiries or communicate with ICE or CBP regarding a person's custody status, home address, work address, or other information.

§ 46-6. Complaints and enforcement.

A. Complaints. Alleged violations of this chapter shall be subject to investigation and discipline in accordance with applicable collective bargaining agreements, civil service rules, and City policies.

B. Immigration status. No complainant or witness shall be required to disclose immigration status as a condition of filing or participating in a complaint.

C. Public reporting. The City Manager shall maintain a publicly accessible mechanism for reporting alleged violations and shall provide a summary report of all such complaints and their dispositions to the City Council annually.

§ 46-7. Compliance with federal and state law.

A. General Compliance. Nothing in this chapter shall be construed to require any action prohibited by federal or state law or to prohibit compliance with 8 U.S.C. §§ 1373 and 1644, properly issued judicial subpoenas, or other legally binding obligations.

B. Information Sharing. Nothing in this chapter shall be construed to prohibit or restrict any City employee from sending to or receiving from federal immigration authorities information regarding citizenship or immigration status as provided under 8 U.S.C. §§ 1373 and 1644, provided such provisions are applied consistent with the Tenth Amendment to the U.S. Constitution. However, this section constitutes a strict limitation on such information sharing: it allows for the exchange of citizenship or immigration status only, and does not authorize the disclosure of any other information, including but not limited to release dates, custody status, home addresses, work addresses, or contact information, unless otherwise required by law.

C. Enforcement of State and Local Laws. Nothing in this chapter shall be construed to limit any City employee from enforcing state and local criminal laws, even if such enforcement takes place at the scene of federal immigration enforcement operations.

§ 46-8. No impact on private rights. Nothing in this chapter shall be construed to limit any individual's rights or remedies under existing law.

§ 46-9. Severability. In the event that any provision of this chapter is held to be unconstitutional or otherwise invalid by any court of competent jurisdiction, the remaining provisions of the chapter shall not be invalidated.



CITY OF BANGOR

AGENDA

Business & Economic Development Committee

Monday, March 2, 2026, 2026

73 Harlow Street – Council Chambers

Bangor, Maine

Will immediately follow Government Operations Committee

1. **Planning Overview of Procedures and Protocols**
Action request: Provide feedback to staff
2. **Policy Discussion – Data Centers**
Action request: Provide feedback to staff
3. **Housing Data Overview**
Action request: Provide feedback to staff
4. **Housing Strategy Section 108 Loan Program - CDBG**
Action request: Provide feedback to staff
5. **Long-Term Rental Program Overview**
Action request: Provide feedback to staff
6. **Director Check in**
 - A. **Maine Development Foundation Report**
 - B. **Urban Land Institute Housing Conference**
7. **Executive Session: Acquisition of real property or economic development 1 M.R.S.A. § 405(6)(C) – 2 items**
8. **Possible Actions on Executive Session Items**
Action request: Forward to Council

Upcoming Items:

Banair Review – March 2026

City Lease Review – March 2026

Community Development Block Grant Week – March 2026

Central Kitchen Update – April 2026

Short Term Rental Overview – April 2026

Commission on Cultural Development – Grant Procedures and Protocols – April 2026

Code Division Overview of Procedures and Protocols – April 2026

Feasibility Study Work on City-Owned Properties – May 2026



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

ANNE M. KRIEG AICP
DIRECTOR

Memorandum

To: Business & Economic Development Committee
From: Planning Division
Date: February 9, 2026
Regarding: Overview of Planning Board and Historic Preservation Commission Processes

The purpose of this memo is to provide an overview of the processes that are followed for items reviewed by the Planning Board and Historic Preservation Commission. No action is requested at this time; this is simply for informational purposes.

The Planning Board has three primary functions – to help shape the Comprehensive Plan, to review and make recommendations on zone changes and ordinance amendments, and to review and make decisions on site plans/development applications. The Comprehensive Plan is required by State law and is typically done once per decade. The Planning Board serves as the planning committee for the Plan. The Comprehensive Plan guides the zoning and land development code for the City, which in turn dictates the rules for development. When a Comprehensive Plan is finished, the Planning Board makes a recommendation to the Council on whether to adopt and the Council makes the final decision on approval.

Similarly, when a zone change comes before Council, the Planning Board's role is to make a recommendation to Council on whether it ought or ought not to pass and the Council makes the final decision. The specific process is for the zoning or text amendment to go to first reading for referral to the Planning Board, then to the Board for a formal public hearing and the Board's recommendation, and then back to Council for 2nd reading, at which another public hearing is held and the Council makes a final decision on the change. If the Planning Board votes to recommend that a change ought to pass, the Council needs a simple majority to approve the change. If the Board votes that it ought not to pass, the Council needs a 2/3 majority to overturn the Board's decision. Prior to a zoning map change going to the Planning Board, staff post an ad about the change in the newspaper and send notices to abutting property owners within 100 feet of the property that is changing. For text changes, staff just post an ad in the paper, unless the change would result in adding a commercial or industrial use to a zone where that use was not present previously, or removing a commercial or industrial use from a zone where it was present. In that case, per State law, staff mail notices to owners of property in the zone that would be affected, as well as to property owners that directly abut the affected properties. Prior to sending formal language through the Council and Planning Board process, staff bring initial proposed changes to the B&ED Committee and Planning Board to work through any concerns or questions.

For development applications, the Planning Board has sole authority to review and make a decision. The shape that development takes in the community is a result of the policy that is recommended by the Planning Board and decided on by Council. Noticing requirements vary depending on the type of development. Regular site developments that don't involve subdivision or conditional uses simply require mailed notices to abutting property owners within 100 feet of the property under development. Conditional uses and major subdivisions require an ad to be posted in the newspaper in addition to mailing notices to abutting property owners, and conditional uses require notices to be mailed to abutters within 500 feet of the subject property in contrast to 100 feet for other developments.

City of Bangor Department of Community & Economic Development – Planning Division

In some cases, an applicant may be making such a minor change that it can be considered as a minor site plan revision. This only requires the Planning Officer, City Engineer, and Code Enforcement Officer to sign off on the application. If any of those three feel that something should be reviewed by the Planning Board, then staff will have the applicant apply for a land development permit instead.

Historic preservation applications work similarly. The Historic Preservation Commission has sole authority to review and decide on historic preservation applications. There is also an option for staff review of minor changes. Changing or addition of signs in historic districts is also a staff review. Changes to the historic preservation code work the same way as land development code changes. Staff will workshop them with the Commission and the B&ED Committee first and then send language through for first reading, Commission formal review, and second reading in front of the Council.

As part of deciding on land development and historic preservation applications, both the Planning Board and the Historic Preservation Commission vote on whether the application meets applicable standards in the Code. If the projects meets the relevant standards, the Board or Commission then makes a final vote on the decision. Staff draft these decision documents for the Board/Commission and finalize them based on the votes that were taken. The Board/Commission then votes to adopt the final findings and decision document at their next meeting. This process ensures that Board and Commission members are not arbitrary in their decision-making and that they only vote on whether a proposed project meets the City's code.

Staff are happy to answer any questions Councilors might have.



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

ANNE M. KRIEG AICP
DIRECTOR

Memorandum

To: Business & Economic Development Committee
From: Planning Division
Date: February 20, 2026
Regarding: Potential data center regulations

This memo outlines the challenges large-scale data centers could pose to Bangor and presents regulatory tools the City may consider to mitigate negative impacts while preserving economic development opportunities.

Data centers are industrial-scale facilities that store, process, and distribute digital information. Driven by demand for cloud computing, artificial intelligence, and streaming services, data center development has accelerated nationwide. While these facilities can expand the tax base and create construction jobs, their long-term operational footprint can present material challenges for host communities.

Below are the primary impacts posed by data centers:

1. Energy Consumption and Grid Strain

- Data centers are among the most electricity-intensive land uses.
- High demand can strain local transmission infrastructure.
- Utilities may seek rate adjustments to fund new generation or grid upgrades, potentially affecting residents' and local businesses' electricity bills.

2. Water Usage

- Many facilities rely on evaporative cooling systems.
- Significant water withdrawals can stress municipal supplies and aquifers.
- Competing demands between industrial users and residential/agricultural users can create equity concerns.

3. Land Use and Zoning Conflicts

- Data centers are often located in industrial zones but increasingly seek suburban or exurban sites, and sometimes even downtown sites. In Bangor, the areas that these would be allowed in would be the Shopping & Personal Service zone, General Commercial & Service zone, Technology & Service zone, Industry & Service District, and Urban Industry District. These zones encompass the majority of the City's commercial areas, the business park next to the airport, and nearly all of the City's industrial areas. There are currently no rules on how these are developed besides the regular land development permit requirements.
 - If the City's definition of "Major essential service facilities" was interpreted to include data centers, this would affect many more zones, including some residential zones, since this use is allowed in most zones.

City of Bangor Department of Community & Economic Development – Planning Division

- Data centers may displace mixed-use or residential development, particularly in the City’s S&PS and GC&S zones, in buildings such as the mall, which could otherwise be used as a mixed commercial-residential use or otherwise active commercial use.
- Limited on-site employment relative to land area taken up can reduce the economic efficiency of prime real estate.

4. Noise and Quality of Life

- Backup generators and cooling equipment can produce persistent noise, heat, and sometimes air pollution.
- Visual impacts from large, windowless structures may affect neighborhood character.
- Construction activity may cause temporary but significant disruption.

5. Economic Trade-offs

- Construction generates short-term employment.
- Permanent jobs per facility are typically minimal.

Given the pace at which data centers are being proposed and constructed across the country and the scale of their impact on local communities, staff propose drafting regulations specific to this use.

The City may consider the following approaches:

1. Zoning and Land Use Controls

- Designate a specific data center overlay district.
 - Consider lining up with state broadband-expansion maps, if applicable
 - Take into account cumulative impacts from multiple potential data centers
- Require conditional use permits in mixed-use or residential-adjacent zones, or in all zones that these would be allowed in.
- Establish setback, height, and landscaping requirements to reduce visual impact.
 - Multi-story buildings may be more desirable over one-story buildings since they would take up less land area. This should be balanced with visual impacts and impacts on neighboring properties.
- Establish lot coverage and impervious surface requirements to limit how much of a lot is covered by the building and associated impervious surfaces such as parking lots.

2. Energy Standards

- Mandate minimum energy efficiency thresholds (e.g. Power Usage Effectiveness targets).

City of Bangor Department of Community & Economic Development – Planning Division

- Require participation in renewable energy procurement or on-site generation and storage (favoring rooftop and/or parking lot solar panels). If battery energy storage is used, that may also need its own rules, such as emergency response plans and thermal run-away monitoring.
- Condition approval on grid impact studies and infrastructure cost-sharing agreements.
- Require that waste heat be used to help provide heat to other nearby utility customers.
- Require green roofs to help insulate and reduce cooling loads, mitigate loss of habitat, and reduce runoff and the urban heat island effect. Alternatively, requiring lighter roofs could also reduce cooling loads and the urban heat island effect; these wouldn't be as structurally demanding but would also not address habitat or stormwater issues like green roofs.

3. Water Management Requirements

- Require use of recycled or non-potable water where feasible.
- Set maximum annual water use intensity thresholds.
- Mandate drought contingency operating plans.

4. Community Benefit Agreements (CBAs)

- Negotiate direct community investments (e.g., parks, broadband access, workforce development, green infrastructure).
- Establish local hiring commitments.
- Require contributions to energy infrastructure resilience funds.

5. Noise and Environmental Controls

- Impose decibel limits at property lines.
- Restrict generator testing hours.
- Require sound barriers or enclosed generator systems (or require battery systems instead to store and generate power, which would benefit both air quality and noise).

6. Transparency and Reporting

- Require annual public reporting on:
 - Electricity consumption
 - Water use
 - Emissions
 - Tax contributions and employment levels
- Require a data center development plan that shows the full build-out if the development is planned to take place in phases.

Strategic Considerations

- **Balance Growth and Sustainability:** Data centers can diversify the tax base, but oversight is essential to prevent long-term infrastructure strain.
- **Regional Coordination:** Align policies with neighboring jurisdictions to prevent regulatory arbitrage.
- **Public Engagement:** Proactively involve residents early in siting decisions to maintain trust.

Conclusion

Data centers represent a significant and growing land use category with distinct infrastructure, environmental, and economic implications. A thoughtful regulatory framework can allow the City to capture fiscal benefits while safeguarding public resources and neighborhood quality of life.



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

ANNE M. KRIEG AICP
DIRECTOR

Memorandum

To: Business & Economic Development Committee (BED)
From: Anja Collette, AICP, Planning Officer
Date: February 24, 2026
Regarding: Housing Update

City staff have been keeping the work we do on housing issues in one place on the city's website:
<https://bangormaine.gov/housingprogress>

Updates from the past few quarters include:

- ✓ A site plan application is pending for the City-sponsored affordable housing development on Grandview Avenue
- ✓ The pre-approved building plans have been completed and have already been requested by some constituents
- ✓ Several projects previously approved by the Planning Board have been completed, such as the tiny home park on outer Hammond Street and the townhome development on Lancaster Avenue, and several projects are currently under construction
- ✓ Several new housing projects have been approved by the Planning Board – for example, a tiny home park with 30 units on Pushaw Road and 30 affordable housing units at 509 Kenduskeag Avenue
- ✓ Dwelling unit numbers have been divided into dwelling units completed (certificates of occupancy issued) versus dwelling units permitted (building permits issued) (dwelling units permitted includes dwelling units that may be under construction or not yet started)
 - The number of completed dwelling units (certificates of occupancy issued) in FY25 were 82, an increase from FY24 at 76
 - The number of completed dwelling units in the first two quarters of FY26 were 74, which puts this fiscal year on track to beat the numbers for FY25
 - The number of building permits issued for dwelling units has been increasing over the past few fiscal years – 61 in FY23, 108 in FY24, and 162 in FY25. In the first two quarters of FY26, 53 have been issued.

Additionally, the staff is working on zoning updates to comply with new State laws intended to increase housing development, as well as working on the wider Land Development Code update to address myriad housing issues.

No housing projects are pending before the Planning Board at this writing, but one is undergoing staff review that would add 28 new units (14 duplexes) on outer Broadway.



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

Memorandum

To: Business and Economic Development Committee
From: Robyn Stanicki, Community Development Officer
Date: January 22, 2025
Subject: Community Development Program Update

The purpose of this memorandum is to present this Committee with an overview of the Housing strategy that Staff have prepared for this year's Consolidated Plan.

This Housing Strategy enfoldes the community development pillars of housing, economic stability, and livable neighborhoods by leaning into each as they relate to the production, preservation, and rehabilitation of housing in all of Bangor's neighborhoods. The Strategy also describes an effort to concentrate investments on one area of the City that is particularly in need. This part of the Plan is divided into several sections, and does not belabor the needs assessment completed earlier. This half is divided into chapters which go beyond "where are we now?" and describe the actions that we have taken and the work that remains left to do.

The Housing Strategy is designed to:

- Respond to documented housing needs across income levels and household types
- Align zoning, public investment, and programmatic tools to accelerate housing outcomes
- Reduce homelessness and housing instability through coordinated, system-based solutions
- Ensure transparency, accountability, and adaptability in implementation

Contents:

1. A **Summary of regulatory and programmatic** actions describe the changes that the City has enacted in the last five years. This context is useful to the City when aligning changes with upcoming updates to housing policies.
2. **Principled Framework** articulates the foundation of CDBG program principles that have been integrated throughout the strategy and address regional interdependence, equity, and a healthy housing market.
3. The overarching goals of the Consolidated Plan are arranged into **Benchmarks and Targets**, and include a rationale for each. Note the Chart that is included in this packet that will become part of the Appendices. These interconnected benchmarks work together as a system when they are aligned with Bangor's Comprehensive Plan, Consolidated Plan, and Housing Implementation Study.

Key benchmark categories include:

- **Housing Production:**
Targets calibrated to local market capacity to increase overall housing supply.
- **Affordability:**
Benchmarks focused on rental and ownership options accessible to low- and moderate-income households.
- **Housing Typology Diversity:**
Emphasis on missing-middle and small-scale housing types that fit neighborhood context and local development capacity.
- **Preservation and Rehabilitation:**
Stabilizing historic and substandard housing to maintain affordability, neighborhood character, and housing quality.
- **Supportive Housing and Homelessness Solutions:**
Permanent supportive housing and system integration to reduce homelessness and recurring housing crises.
- **Regulatory Reform:**
Zoning and permitting updates to remove barriers, reduce costs, and support equitable housing access.
- **Incentives and Financial Leverage:**
Strategic use of public tools to unlock private and nonprofit investment and maximize impact per public dollar.
- **Monitoring and Accountability:**
Governance, reporting, and performance tracking to ensure transparency and adaptive management.

Implementation: The strategy distinguishes between city-wide housing interventions and targeted neighborhood strategies:

1. **Citywide Housing Interventions** establish the foundational policies, incentives, and systems that support housing outcomes across Bangor.
2. **Neighborhood Revitalization Strategy Area (NRSA)** tools apply these interventions with greater focus and flexibility in areas facing concentrated housing need, reinvestment pressure, or displacement risk.

Finally, the Plan outline three main approaches:

- a. **Housing Production:** this focus is a collaboration between many City departments and involves siting housing resources to Bangor with some opportunities that the City could explore.
- b. **Financing:** This section describes the CDBG Guarantee program which will provide Bangor with up to five times the amount of CDBG funds which can be used on a wide variety of housing interventions
- c. **Neighborhood Revitalization Strategy:** These citywide interventions create the conditions for housing progress across Bangor; however certain areas require more concentrated and place-based approaches. The NRSA applies these tools with added focus and flexibility where housing need and reinvestment pressures are greatest.

The NRSA proposal and the Consolidated Plan are submitted together, but must each have a dedicated public feedback period, which will be held using neighborhood meetings and public hearings over the next several months. We will continue to incorporate feedback until final approval.

Next Steps:

- Finalize benchmarks and implementation tools
- Align regulatory, financial, and staffing actions with adopted targets
- Establish monitoring and reporting mechanisms
- Conduct Public Engagement
- Submit Plan for Approval by Bangor City Council by **May 15 deadline**

Action Requested:

City Staff are requesting that one specific item in the Plan begin immediately. To be participate in the Section 108 program, the City must submit documents to HUD for consideration. Staff believe that preparing this application process could take some time. Therefore, we request authorization to begin as soon as possible.

/rmls



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

Memorandum

To: Business and Economic Development Committee
From: Robyn Stanicki, Community Development Officer
Date: February 25, 2026
Subject: Long-Term Rental Programs

The Community Development Division has developed this memorandum to provide the Committee with an update on the progress of the Rental Registry Pilot program and to make recommendations for its permanent transition following its conclusion on June 30, 2026.

Background

In 2024, the City approved the launch of a two-year rental registry beginning 1 July 2024. The purpose of the pilot was to develop the relationships, infrastructure, and procedures necessary to implement a long-term registration system modeled after successful initiatives in other municipalities. While the original concept included a mandatory inspection component, the City intentionally began with a voluntary participation period. This approach was designed to build trust with landlords and property managers and to allow stakeholders to help shape the structure and benefits of the program.

To inform the Pilot, the Community Development Division convened a series of open forums with tenants, landlords and property managers. These discussions led to the development of the Quality Housing Provider program, which provides valuable support and services to landlords and their tenants. The overarching goal of the program is to ensure that rental housing in the City of Bangor is safe, well maintained, and responsive to resident needs.

Although the registry does not directly regulate affordability, the City's adopted role in the housing market is to monitor conditions, maintain an accurate inventory of rental housing, support property improvements, and implement targeted policy adjustments that influence supply and cost over time.

Pilot Objectives and Outcomes

The Community Development Division established three primary objectives for the two-year pilot program:

1. Develop and test a workable registration process and format;
2. Build positive, collaborative relationships with landlords and tenants;
3. Design participation benefits that respond to challenges identified in stakeholder forums.

Through this process, landlords and tenants identified several priority needs, including:

- Access to low-cost rehabilitation funding;
- Protection against theft and property damage;
- Tenant support services aimed at reducing evictions and vacancies.

These collaborative discussions also surfaced zoning and code-related issues that informed updates in the forthcoming land use code revision, demonstrating cross-departmental value beyond the registry itself.

Using assessment records and rental advertising data, property owners were invited to voluntarily register their rental units. Registrants provided emergency contact information and general data on rental costs, accessibility, and tenant selection practices. In return, they received information about Tenant Rights and Responsibilities, building maintenance standards, and access to a low-risk property evaluation tool. Staff also made site visits available upon request.

Landlords consistently expressed a desire for a clear point of contact within the City. In response, staff structured the program to provide direct access to technical assistance, low-interest rehabilitation loans, energy efficiency improvements, tenant support coordination, and educational resources on topics such as fair housing and legal protections.

Current Challenges

While feedback on the program has been largely positive, voluntary participation remains limited. In 2024, the City allocated \$250,000 in ARPA funding to support incentives associated with the registry; however, those funds were subsequently reallocated. Staff believe that restoring financial incentives would significantly increase participation.

Through tax record analysis, staff have identified 1,087 multi-family rental buildings within the City that would need to be registered under a comprehensive system. Additionally, housing data indicate a substantial number of single-family rental homes, particularly within the downtown urban center. Because many of these units are neither registered nor consistently advertised, the City currently lacks a complete and reliable rental housing inventory. This incomplete dataset limits the City's ability to effectively monitor housing conditions, plan for growth, and evaluate housing demand.

State Legislative Context

To address Maine's housing shortage, the Legislature is considering a statewide rental registration system, informed in part by prior housing analyses conducted by MaineHousing. The proposed legislation would exempt units already subject to a mandatory municipal registry, thereby avoiding duplicative reporting. Alternatively, municipalities could receive localized data from the state registry. While a statewide system could provide valuable data, Bangor landlords have expressed interest in maintaining a locally administered program that retains the supportive and relationship-driven structure of the Quality Housing Provider model.

Given that the City has already developed administrative infrastructure, stakeholder relationships, and procedural frameworks, Bangor is well positioned to implement and manage its own permanent registry in a manner tailored to local conditions. The Pilot has successfully established program infrastructure and is actively engaging landlords and tenants to build trust. Moving forward, the permanent registry should incorporate lessons learned over the past two years including:

1. **Initial Registration:** Initial registration of each housing unit should be required by December 31, 2026. The registration cycle should align with the municipal tax year to streamline administration. Subsidized units may be made to register once every three years to reduce administrative burden.
2. **Online Access:** Property owners and managers should have secure access to their own registration information online to update contact information and request assistance from staff.

3. **Public Data:** Aggregated and generalized housing inventory information should be made publicly available on the City's website to support planning, research, and community awareness, while protecting individual property or tenant privacy.
4. **Supportive Property Evaluations:** Property evaluations should be educational and non-punitive in nature and conducted by the Residential Rehabilitation Coordinator, with assistance from other City staff as needed. Identified concerns or suggested improvements may be addressed collaboratively, with technical assistance provided upon request. Existing code enforcement authority would remain separate and unchanged.
5. **Fee Structure and Incentives:** Registration fees should be nominal and structured to support program administration. Late registrations should incur a penalty. Property owners who register on time and promptly address identified concerns should receive a discounted fee for the subsequent registration cycle.

Staff Recommendation

The Rental Registry Pilot has successfully established the foundational relationships, administrative systems, and program benefits necessary to support a long-term rental registration framework. However, achieving a complete and reliable housing inventory requires transitioning from voluntary participation to a mandatory structure. Staff seek Committee guidance on advancing an ordinance to establish a permanent rental registry consistent with the framework outlined above.

2025

MEASURES OF GROWTH⁺

Performance Measures and Benchmarks to Achieve
a Vibrant and Sustainable Economy for Maine

**31ST REPORT OF
THE MEGC**



Administered by
mdf

MEASURES OF GROWTH⁺

Achieving our vision requires a vibrant and sustainable economy supported by vital communities and a healthy environment.

Rainbow over Scarborough Marsh
(Photo credit: Towle Tompkins)



Table of Contents

FUNDAMENTAL PERFORMANCE INDICATORS

ECONOMY

PROSPERITY

+1.8% **Wages** 9
In 2024, wages remained above the EPSCoR average and rose 1.8% after adjusting for inflation.

-0.4% **Poverty** 10
In 2023, poverty fell 0.4 percentage points to 10.5%.

+1.2% **Gender Wage Equity** 11
In 2024, women's wages rose 1.2% compared to men's but remained about 86% of men's earnings, significantly short of full equity.

+3% **Racial/Ethnic Income Equity** 12
In 2019-2023, the average incomes of BIPOC* and Latino or Hispanic Mainers rose 3 percentage points compared to the statewide average but remained 22% below the state average, dramatically short of full equity.
*(*Black, Indigenous, People of Color)*

PEOPLE

★ **Labor Force** 13
+1.8% Maine's labor force grew 1.8% to 705,000 in 2024.

+2% **Labor Force Participation** 14
In 2024, 83% of Maine adults ages 25-54 were in the labor force, up 2 percentage points from 2023.

PRODUCTIVITY

+3% **Gross Domestic Product** 15
In 2024, Maine's GDP rose 3%, slightly above other New England states.

+1.7% **Value Added** 17
In 2024, value added per worker rose 1.7% but remained 21% below the U.S. average.

INNOVATION

+16% **International Exports** 19
In 2022-2024, Maine exports were 16% higher than the previous three-year period.

🚩 **Research & Development** 20
+24% In 2022, R&D spending as a share of GDP rose 24% but remained far below national levels.

★ **Entrepreneurship** 22
-12% In 2023, the ratio of business starts to closures fell 12 percentage points but remained positive for a tenth year.

TALENT

+1% **Prekindergarten Education** 23
In 2024, the share of Maine four-year-olds in public pre-K rose 1 percentage point to 49%.

🚩 **Fourth-Grade Reading** 24
+4% In 2024, the percentage of Maine 4th graders who were proficient in reading rose 4 percentage points to 33% but were below national standards.

🚩 **Eighth-Grade Math** 25
+1% In 2024, the share of Maine 8th graders who were proficient in mathematics rose 1 percentage point to 25% but remained below national standards.

+1.5% **Postsecondary Degrees & Credentials** 26
In 2023, 56.6% of Maine adults had a degree or credential of value, up 1.5 percentage points.

BUSINESS CLIMATE

0% **Cost of Doing Business** 27
In 2022, Maine's cost of doing business was unchanged.

+0.5% **Cost of Health Care** 28
Proportional health care expenditures rose 0.5 percentage points in 2024.

* EPSCoR is the National Science Foundation's Established Program to Stimulate Competitive Research, a program to assist places with historically low levels of funding for research and development. There are 25 states in the program: Alabama, Alaska, Arkansas, Delaware, Hawaii, Idaho, Iowa, Kansas, Kentucky, Louisiana, Maine, Mississippi, Montana, Nebraska, Nevada, New Hampshire, New Mexico, North Dakota, Oklahoma, Rhode Island, South Carolina, South Dakota, Vermont, West Virginia, and Wyoming.



-6% **Cost of Energy** **29**
The average price of electricity fell 6% in 2024, although commercial and industrial rates rose slightly.

+0.2% **State & Local Tax Burden** **30**
In 2022, Maine's tax burden rose 0.2 percentage points to 11.7%.

COMMUNITY

INFRASTRUCTURE

★ **Internet Connectivity** **32**
+3% In 2025, 92% of Maine locations have average or broadband internet, up 3 percentage points.

🚩 **Housing Affordability** **33**
+1% In 2024, the share of households unable to afford the median-priced home worsened 1 percentage point to 64%.

0% **Transportation** **34**
In 2024, 72% of Maine roadways were rated good or fair, unchanged from 2023.

HEALTH & SAFETY

★ **Safety** **36**
-8% Maine's crime rate fell 8% in 2023.

-0.6% **Physical Wellness** **37**
In 2024, 67% of adult Mainers were overweight or obese, down 0.6 percentage points. This rate has been consistent for over a decade.

+2% **Mental & Behavioral Health** **38**
In 2022-2023, the percentage of children with a mental and/or behavioral condition rose 2 percentage points.

+0.7% **Health Insurance Coverage** **39**
In 2023, the percentage of Mainers with health insurance coverage rose 0.7 percentage points and remains above the U.S. average.

+1% **Food Security** **40**
In 2021-2023, the share of Mainers experiencing food insecurity rose almost 1 percentage point to 10.9%.

ENVIRONMENT

-12 days **Air Quality** **42**
In 2024, there were 27 moderately unhealthy days, 12 fewer than in 2023.

+3% **Sustainable Forestlands** **43**
In 2023, the ten-year growth-to-removal ratio rose 3% to 1.55 and remained above the sustainability goal.

0% **Water Quality** **45**
In 2024, Maine maintained its excellent water quality rating.

+1.4% **Greenhouse Gas Emissions** **46**
From 2020 to 2021, GHG emissions rose 1.4%.

Gold Stars and Red Flags are determined by consensus of the Growth Council based on consideration of the data and the experienced perspective of Council members. The general criteria are:

★ **Exceptional Performance**
Very high national standing and/or established trend toward significant improvement.

🚩 **Needs Attention**
Very low national standing and/or established trend toward significant decline. The indicator may show improvement but is still viewed as needing attention.

Progress Symbols reflect movement from year to year and/or recent trends toward or away from the benchmarks established by the Council. The general criteria are:

+ Movement toward the benchmark since the last available data.

= No significant movement relative to the benchmark since the last available data, or no new data.

- Movement away from the benchmark since the last available data.

At the heart of it all, it's about our people.

VISION: A high quality of life for all Maine people

The Maine Economic Growth Council is pleased to present *Measures of Growth 2025*. This nonpartisan, data-driven report shows where Maine sits relative to other states and the U.S. as a whole. It tracks 31 indicators that capture the health of our economy and our communities, revealing both challenges and enduring assets. It is a resource for policy and decision makers at all levels, helping them to focus their efforts and understand the connections between the major issues facing Maine's businesses and citizens.

Making Maine a Magnet for Workers and Their Families

In recent years, the Council has highlighted a welcome trend: working-age people and their families moving to Maine. While some have roots here, others are coming for the first time. In a recent survey of 2,500 arrivals, top reasons for choosing Maine included access to outdoor recreation, strong social connections, and a sense of community that includes safety, a culture of acceptance, and a commitment to environmental stewardship.* Respondents also identified challenges: a scarcity of affordable housing, high living costs, lack of jobs that match their skills, and low wages.

This report highlights examples of four local initiatives helping Maine communities be vibrant, supportive places for workers and their families. They build on our natural and cultural resources while addressing potential barriers that may prevent people from thriving here. Skowhegan is turning its historic riverfront into a destination for residents and visitors alike. In Aroostook County, a workforce transportation program is connecting more people to work and careers. The blueberry industry is partnering with researchers at the University of Maine to increase crop yield

and the sustainability of that heritage industry. And the owners of Glidden Point Oyster Farm are helping to chart a new course for Maine's working waterfront.

Trusted Data Drives Informed Decisions

The Council wishes to recognize the seven federal entities whose data appears in this report (listed below). For over 30 years, their reliable, independent work has been the cornerstone of *Measures of Growth*. This data is indispensable to decision makers across all sectors—public, private, and nonprofit. It sparks new understanding and rigorous debates. It plays a vital role in helping businesses analyze labor markets, local governments plan for growth, state agencies forecast revenues, nonprofits develop effective programs, and much more. Consistent, uninterrupted access to this long-term data creates a framework for communities and policymakers to make informed decisions that have real-world consequences. These seven entities are: U.S. Census Bureau, Bureau of Labor Statistics, Bureau of Economic Analysis, Centers for Disease Control and Prevention, U.S. Department of Agriculture, U.S. Department of Health and Human Services, and the Federal Bureau of Investigation.

Safeguarding Data Integrity

The Maine Economic Growth Council is, by state statute, independent and nonpartisan. Our integrity is interconnected with the integrity of the data we use and being able to clearly track methodologies used by the agencies upon which we rely. The Council takes this responsibility seriously and will continue to diligently monitor any changes to availability, methodology, and access to data.

*Wallace Economic Advisors, Maine Migration Project, 2025: www.wallaceea.com/memigration

Report Highlights

Taking stock of Maine's economic progress, the Council sees reasons for both celebration and renewed resolve. For 2025, it assigns Gold Stars for progress in Entrepreneurship, Internet Connectivity, Labor Force, and Safety. It also recognizes Poverty and Gross Domestic Product as two areas where Maine has reached the benchmarks set years ago. The Council assigns Red Flags for needed attention to 4th Grade Reading and 8th Grade Math scores, Housing Affordability, and Research & Development.

This report presents the latest data for all 31 metrics. For two metrics (Greenhouse Gas Emissions and Cost of Doing Business), the latest data is that which appeared in last year's report because no new data was released in 2025. The data used in two other metrics (Entrepreneurship and Cost of Energy) has been updated as part of the Council's ongoing practice of reviewing and improving its methodologies to present the most accurate and timely data possible. See the notes on these metric pages for further details.

Supporting Maine's economic strategic goals

Maine has a ten-year economic development strategy to achieve sustainable, equitable growth for all residents.¹ It promotes talent and innovation as drivers of economic opportunity across the state.

The strategy has three goals:

GOAL 1: Increase wages by 10%

Status: Wages are up 11.5%

This goal seeks to increase the value of Maine's annual average wage, adjusted for inflation, from \$45,370 in 2018 to \$49,907 by 2030. In 2024, inflation-adjusted wages were \$50,607, exceeding the goal.² The Wages metric on page 9 shows how this growth compares to other states.

GOAL 2: Increase the value of what we sell per worker by 10%

Status: Value added is up 15.5%

Goal 2 seeks to increase value added per Maine worker from \$103,403 in 2017 to \$113,744 by 2030 (adjusted for inflation). In 2024, value-added was \$119,403, an increase of 15.5% compared to 2017. For more information, see the Value-Added metric on page 17.

GOAL 3: Attract 75,000 people to Maine's talent pool, to reach 710,000

Status: Maine's labor force grew by almost 13,000 in 2024, reaching 705,000

In 2019, Maine's labor force was projected to shrink by 65,000 through 2030, mainly due to the aging of the population. This goal aims to reverse that by attracting 75,000 people to Maine's workforce, replacing the 65,000 and adding another 10,000 to reach 710,000. Maine's labor force fell to 672,000 following COVID, but it has grown steadily since then. In 2024, we gained 13,000 participants to hit 705,000. See the Labor Force metric on page 13 for more details.

¹ <https://www.maine.gov/decd/strategic-plan>

² When tracking progress on this goal, wages are inflation-adjusted to 2018 dollars to measure them against wages in the year the goal was set. For this reason, the number is different from the one reported on the Wages page, which is 2024 dollars.

FUNDAMENTAL PERFORMANCE INDICATORS



Apple cider production is one of the many food-based industries supported by University of Maine System
(Photo credit: University of Maine Cooperative Extension)

Wages

+1.8%

In 2024, wages remained above the EPSCoR average and rose 1.8% after adjusting for inflation.

Benchmark: Maine’s annual average wage will exceed the average of EPSCoR* states by 2030.

Wages reflect job quality, worker productivity, and the makeup of our economy; they are a primary driver of economic prosperity and quality of life. In 2024, Maine’s average annual wage was \$63,220 — below the U.S. average of \$75,585 but, for the fifth year, above the average for EPSCoR* states (\$61,784). Even adjusting for inflation, wages are now 9.2% above their pre-pandemic 2019 level.

The adequacy of wages to cover workers’ basic needs varies by household and region. In 2024, the estimated living wage for a single Mainer was \$48,292 before taxes; it was \$108,658 for a single person with two children; and for two working adults with two children, it was \$119,832. Regionally, wages exceed the state average in Cumberland County, Maine’s most populous and urban county, and trail it elsewhere, with rural Franklin and Piscataquis counties having the lowest wages.

* EPSCoR is the National Science Foundation’s Established Program to Stimulate Competitive Research, a program to assist places with historically low levels of funding for research and development. There are 25 states in the program. (See the table of contents for a full list of states)

Average Annual Wages By County 2024

Coastal Counties

Cumberland	\$71,351
Sagadahoc	\$63,193
York	\$61,811
Waldo	\$54,674
Knox	\$55,720
Hancock	\$53,780
Lincoln	\$53,238

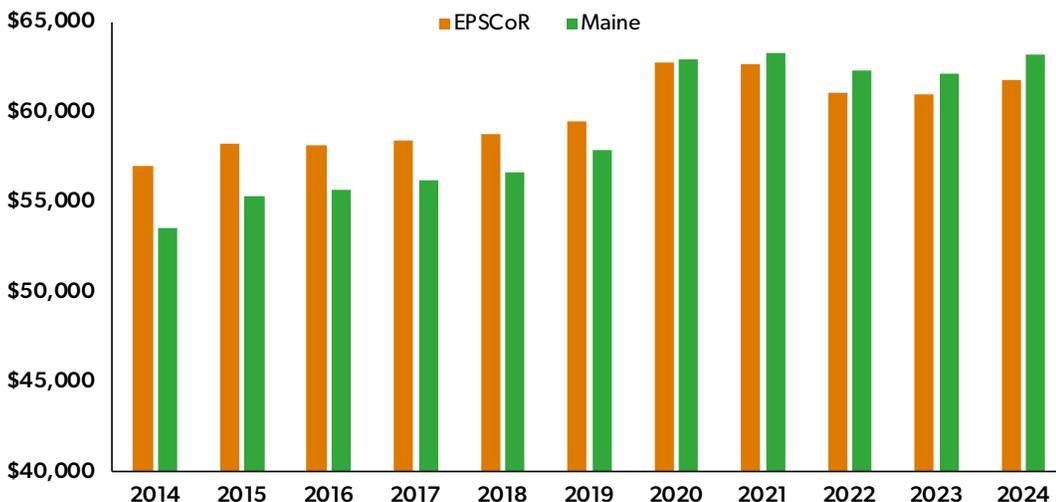
Central Counties

Kennebec	\$60,846
Androscoggin	\$58,507
Penobscot	\$55,593

Rim Counties

Somerset	\$55,148
Aroostook	\$51,148
Oxford	\$50,809
Washington	\$50,219
Franklin	\$48,419
Piscataquis	\$47,151

Average Annual Wages (Inflation-Adjusted)



Source

U.S. Bureau of Labor Statistics; U.S. Bureau of Economic Analysis; Massachusetts Institute of Technology

Poverty

-0.4%

In 2023, poverty fell 0.4 percentage points to 10.5%.

Benchmark: Maine’s poverty rate will decline and remain below the U.S. rate through 2030.

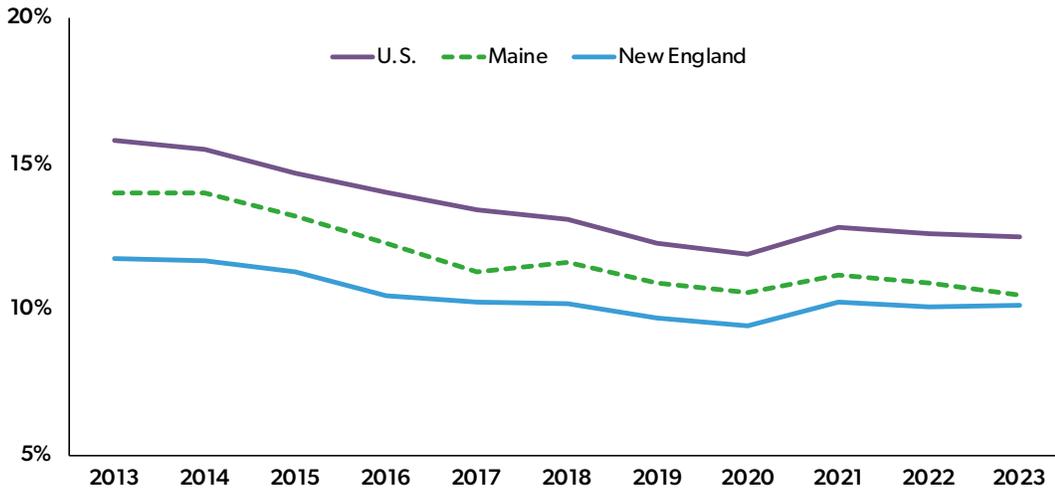
In 2023, the percentage of Mainers in households with incomes below the poverty level was 10.5%. This was below the U.S. rate of 12.5%. While poverty remains a challenge, it is noteworthy that Maine has achieved the benchmark set years ago; poverty has declined and remained below the U.S. average for over a decade. Maine’s poverty rate reflects both the overall state of the economy and the experiences of individual residents.

State-level poverty rates mask stark differences within Maine’s population. Poverty varied greatly by region—from 6.9% in

Cumberland County to 20.1% in Washington County. From 2019 to 2023, BIPOC* and Latino or Hispanic Mainers were 49% more likely to be living in poverty; and 14% of Maine children under age 5 were living in poverty, compared to just over 9% of Mainers age 65+. Many poor children are in households headed by single females. From 2019 to 2023, almost 1 in 3 single-mother households were poor (30%).

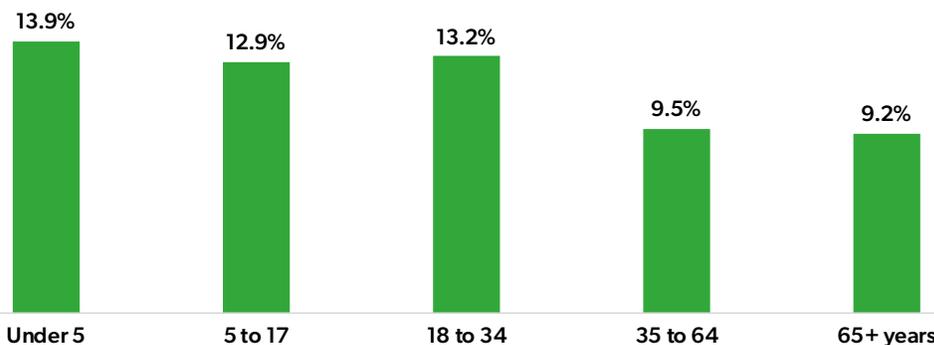
*Black, Indigenous, and People of Color

Percentage of Residents in Poverty



Source
U.S. Census Bureau

Poverty Rate by Age, 2019-2023



Administered
by MDF

Gender Wage Equity

+1.2%

In 2024, women’s wages rose 1.2% compared to men’s but remained about 86% of men’s earnings, significantly short of full equity.

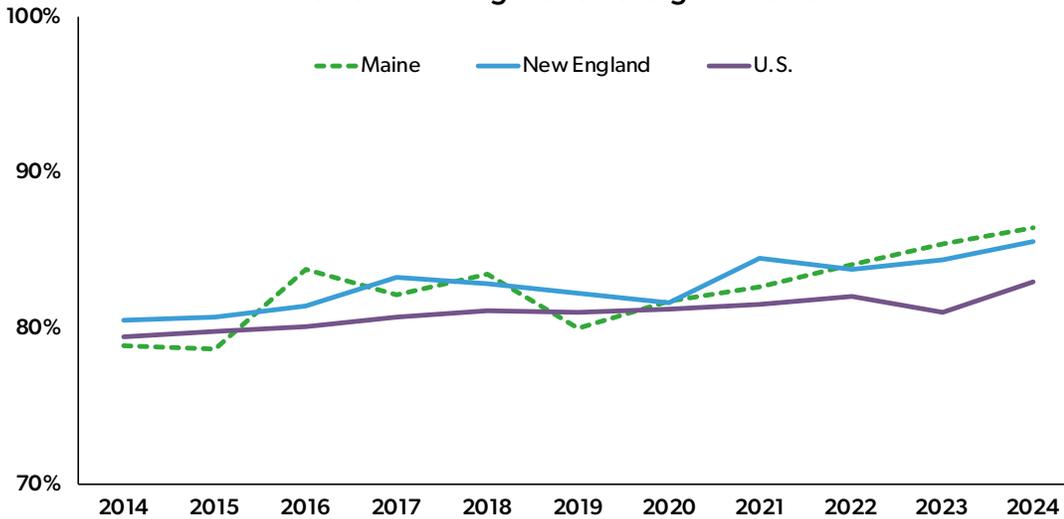
Benchmark: Maine’s median annual earnings for women will improve to 100% of men’s median annual earnings by 2030.

This measure compares the annual wages of men and women working full time, year-round. In 2024, the median earnings of Maine women was \$56,383—86% of the \$65,215 median earnings of Maine men. In other words, full-time working women in Maine earned about \$6 for every \$7 earned by men. Some of the difference is due to the differing wages in occupations disproportionately filled by women, but this does not explain the entire gap.

In recent years, women’s earnings as a percentage of men’s in Maine have improved, from 76% in the 2000s to 81% in the 2010s.

In 2024, Maine’s gender income gap was less than the U.S. and New England averages. No U.S. state has eliminated the gender pay gap yet, but in seven states women’s earnings ratio exceeds Maine’s. New York had the smallest estimated gender wage gap in 2024. There, women earned 91% as much as men.

Women's Earnings as Percentage of Men's



Source
U.S. Census Bureau

Median Earnings Gap In 2024



Racial/Ethnic Income Equity

+3%

In 2019-2023, the average incomes of BIPOC* and Latino or Hispanic Mainers rose 3 percentage points compared to the statewide average but remained 22% below the state average, dramatically short of full equity.

Benchmark: The average per capita income of BIPOC* and Latino or Hispanic Mainers will improve to the state average by 2030.

The Council strongly believes that Maine needs the contributions of every resident to achieve a vibrant, sustainable economy. Increasing prosperity is not true progress unless it is equitably shared. This will require broad, deep, and long-term systemic change.

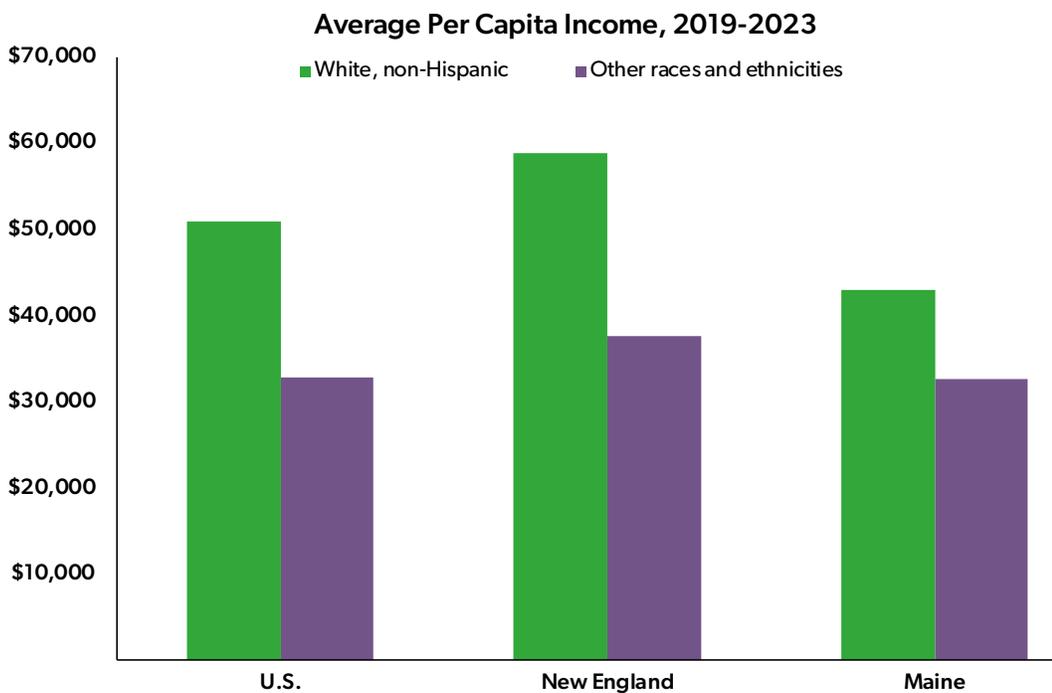
From 2019 to 2023, the average per capita income of BIPOC* and Latino or Hispanic Maine residents (about 9% of the population) was \$32,676, 78% of the \$42,035 statewide average. This is an increase from 75% in 2018-2022 and 59% a decade ago. Still, it means that for every \$5 earned by the average Maine household, households of racial and ethnic minority groups earned less than \$4.

This stark racial/ethnic income disparity is seen across New England and the United States. To counter it, Maine must improve access to training and education for residents of color, better support their communities and businesses, and address cultural biases and systemic disadvantages.

*Black, Indigenous, and People of Color

Maine Poverty Rate by Race/Ethnicity 2019-2023

Race/Ethnicity	Population	Poverty Rate
White, not Hispanic or Latino	1,216,238	10.3%
Two or more races	62,023	13.1%
Hispanic or Latino (of any race)	26,880	11.0%
Black or African American	21,545	25.2%
Asian	13,736	12.6%
Other race	9,288	12.5%
American Indian & Alaska Native	6,010	17.3%
Native Hawaiian & Pacific Islanders	254	31.9%



Source
U.S. Census Bureau

★ Labor Force

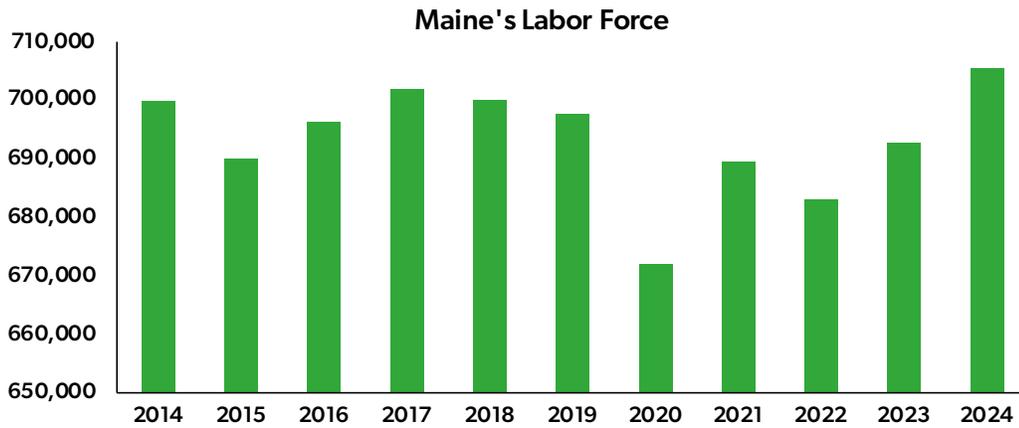
+1.8%

Maine’s labor force grew 1.8% to 705,000 in 2024.

Benchmark: Maine’s labor force will increase to 710,000 by 2030.

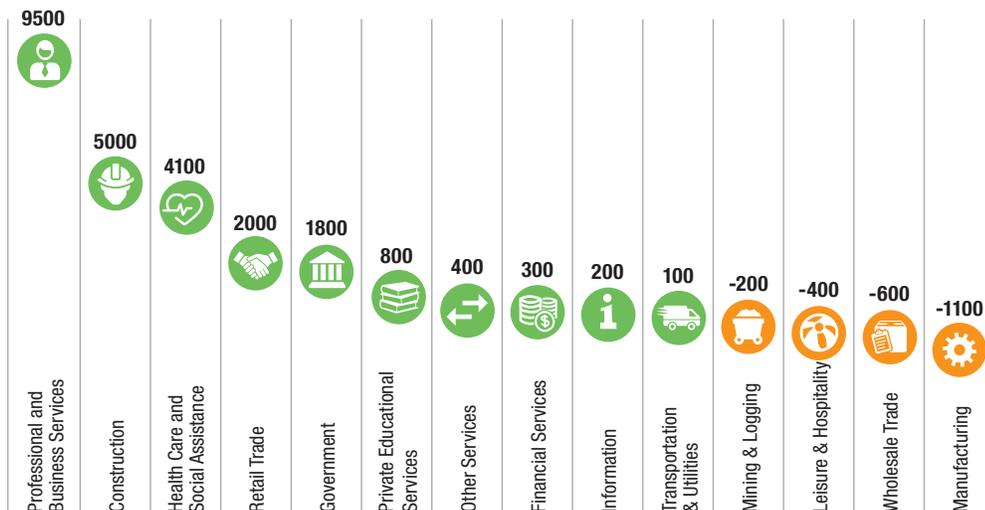
Estimates of Maine’s labor force come from household surveys and are subject to revision, so these numbers should be interpreted with that in mind. In 2020, at the height of the COVID-19 pandemic, Maine’s labor force shrank by about 26,000. In 2024, there were approximately 705,000 people in Maine’s labor force, up 1.8% since 2023 and almost 8,000 above pre-pandemic levels. In 2024, the overall number of nonfarm payroll jobs exceeded pre-pandemic levels thanks to gains in professional and business services, construction, and health care. Jobs in leisure and hospitality nearly returned to pre-pandemic levels, while jobs in wholesale trade and manufacturing were below them.

As baby boomers retire, the ranks of working-age Mainers are shrinking. Furthermore, many young people are delaying entering the labor force to pursue education and training opportunities. Even before the pandemic, this was contributing to a slow decline in Maine’s labor force. While it is too soon to say whether the recent gains are permanent, they suggest that Maine may be attracting more working-age people from other states and countries, retaining more of the young people born here, and/or having more individuals participate in the workforce.



Source
U.S. Bureau of Labor Statistics

Employment Growth in Maine By Selected Sectors, 2019-2024



Administered by MDF

Labor Force Participation

+2%

In 2024, 83% of Maine adults ages 25-54 were in the labor force, up 2 percentage points from 2023.

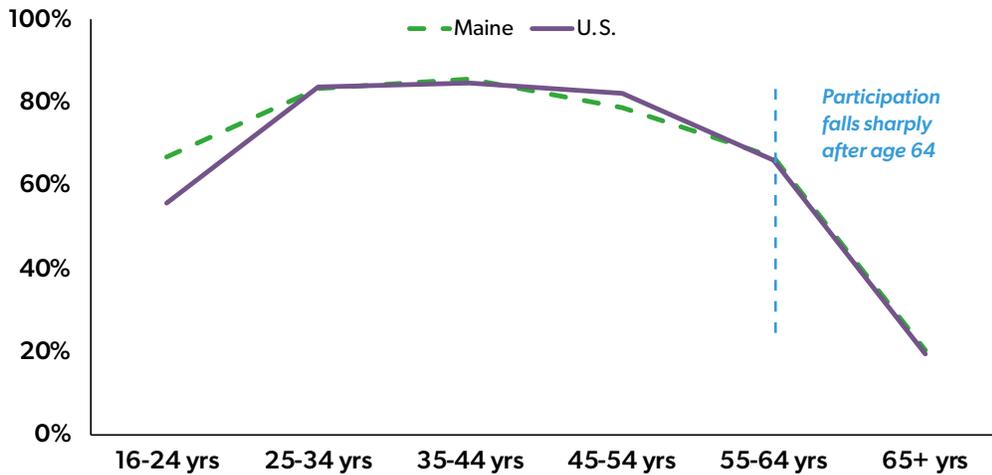
Benchmark: Maine’s labor force participation rate for prime-working-age adults will match or exceed the national average.

As Maine’s population ages, the economic contribution of every individual becomes even more important. The labor force participation rate is the percentage of residents who are either working or looking for work. In 2024, 83.2% of Maine prime-working-age adults (ages 25-54) were in this category. This estimate comes from household surveys and is subject to revision, so these numbers should be interpreted with that in mind. People of all ages are invaluable to Maine’s workforce; this age range is presented here to compare Maine workers with their peers in other states.

Maine adults at every age are about as likely to be in the labor force as people in other states. The chart below shows that Maine adults of all ages work at about the same rates as their peers nationwide. However, we have a higher share of residents age 65 or older, and fewer people in this age group work. In 2023, 23% of Maine’s population was 65+ compared to just 18% of the U.S. population.

Potential measures to increase Maine’s labor force participation rate include higher wages, increased childcare access, reduced schedules for older workers, and outreach to new Mainers and people with disabilities, veterans, disengaged youth, and others.

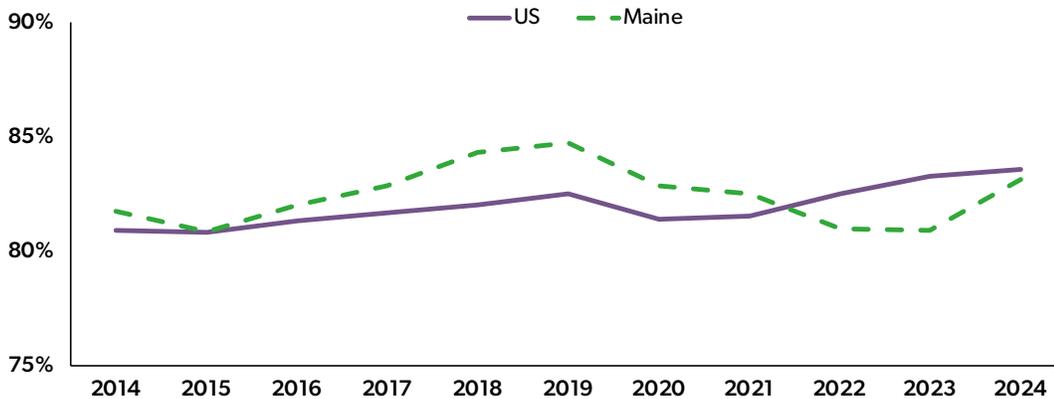
Labor Force Participation Rate by Age



Source

U.S. Bureau of Labor Statistics; Maine Department of Labor Center for Workforce Research and Information; U.S. Census Bureau

Labor Force Participation Rate for Adults Ages 25-54



Gross Domestic Product

+3%

In 2024, Maine's GDP rose 3%, slightly above other New England states.

Benchmark: The growth of Maine's GDP will outpace that of New England and the U.S.

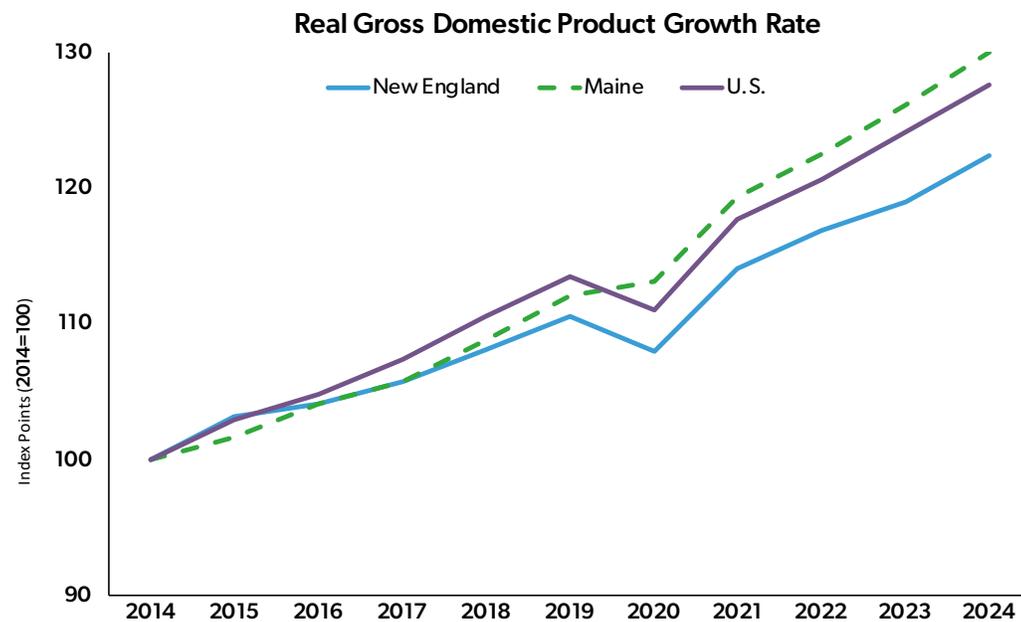
Gross domestic product (GDP) provides a sense of Maine's overall economic performance. It reflects the market value of all goods and services produced in the state and some nonmarket goods and services provided by government agencies and nonprofit institutions.

In 2024, Maine's GDP rose 3.0% adjusted for inflation, meeting the benchmark by continuing a five-year trend of growth slightly above the U.S. and New England averages (2.8% and 2.9%, respectively). Growth was spread across many industries, with manufacturing and accommodation and food services being the exceptions. By this measure, Maine ranked 17th of the U.S. states. Over the past decade, growth has exceeded the U.S. and other New England states, mainly because during the 2020 recession Maine's GDP did not decline as sharply as it did elsewhere.

Real estate, professional and business services, government, and health care and social assistance together made up over one-half of Maine's GDP in 2024.

Maine's Real Domestic Product by Major Industry Sector 2024

Industry Sector	GDP Millions of Dollars	% of Total	% Change 2023- 2024
Real Estate	\$13,183	17%	3%
Professional and Business Services	\$10,469	14%	2%
Government	\$9,220	12%	3%
Health Care and Social Assistance	\$8,883	11%	4%
Retail Trade	\$6,942	9%	10%
Manufacturing	\$6,787	9%	0%
Finance and Insurance	\$4,871	6%	4%
Wholesale Trade	\$3,384	4%	3%
Accommodation and Food Services	\$3,108	4%	-1%
Management of Companies and Enterprises	\$2,871	4%	7%



Source
U.S. Bureau of Economic Analysis

Value Added: Glidden Point Brings Innovation to the Working Waterfront

“Value-added” refers to transforming Maine’s natural resources into higher-value products and experiences. It builds local wealth, strengthens communities, and creates lasting prosperity across the state.

Glidden Point Oyster Farm is helping to chart a new course for Maine’s working waterfront. Although the farm has been around since the 1980s, current owner Ryan McPherson and his team are pioneering a new business model that draws from the state’s maritime heritage while advancing a relatively new industry: oyster aquaculture.

Unlike lobsters or clams, oysters were not traditionally a hallmark of Maine’s seafood economy. But McPherson thinks that can change. Maine’s clean water, strong community of growers, and marine bioscience resources create a foundation for a thriving industry. As a buyer for about 20 small farms, McPherson is helping scale production across the state, while maintaining the high-quality, Maine-grown reputation that keeps chefs and consumers coming back.

Glidden Point doesn’t just *grow* oysters. They also run a small retail shop; offer experiential tours that include education about oyster farming, shucking lessons, and/or tasting sessions; operate a wood-fired sauna; and provide direct-to-consumer shipping. While these don’t necessarily generate big profits, they deepen engagement and strengthen the brand’s relationship with consumers.

By adding cultural and experiential value to a natural resource, Glidden Point is showing how to capture the full value of Maine oysters—not just in dollars, but in community, education, and customer loyalty. In the process, they are helping to build a new kind of waterfront economy—resilient, rooted, and ready to grow.



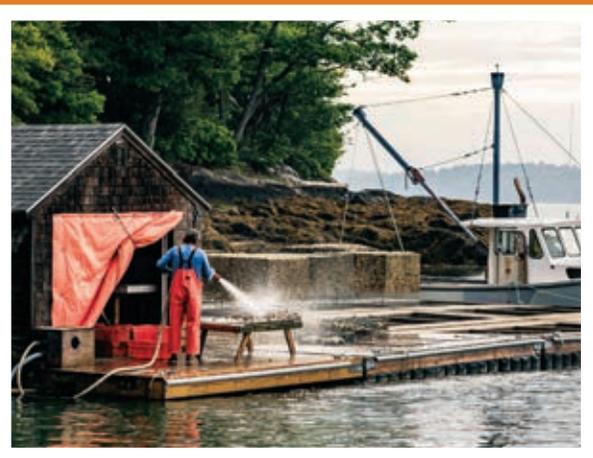
Bag of 100 oysters ready to be shipped to markets across the country (Photo: Glidden Point Oysters)

“Getting to meet people and chefs from all over the country and talk about oysters—you can’t put a dollar value on that...That’s the real magic.”

Ryan McPherson

Owner

Glidden Point Oyster Farms



Farm manager washing oysters, one of the last steps before shipping (Photo: Glidden Point Oysters)

Value Added

+1.7%

In 2024, value added per worker rose 1.7% but remained 21% below the U.S. average.

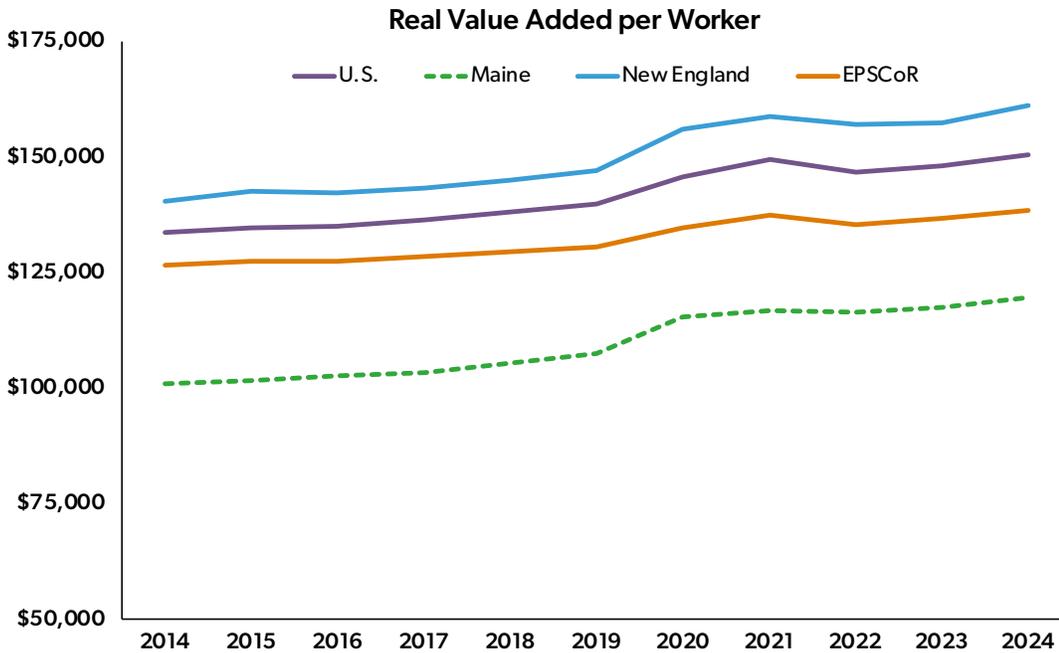
Benchmark: Maine’s value added per worker will improve to within 15% of the U.S. average by 2030.

This indicator measures the productivity of workers by dividing gross domestic product by the total number of part- and full-time jobs. Maine has a relatively high share of part-time jobs, which lowers our value added per worker. Productivity also reflects skill levels, business costs, and a region’s mix of industries.

Worker productivity in Maine is lower than in most other states, but it has been increasing. It ranked 44th among the 50 states in 2024, up from 48th in 2016. Adjusted for inflation, value added rose 1.7% to \$119,597 per worker. The U.S., New England, and EPSCoR* states grew 1.6%, 2.3%, and 1.2%, respectively. By this measure Maine is now 21% behind the nation, an improvement from 2010-2019, when Maine trailed the U.S. by 24% on average.

Both the Council and the State’s 10-Year Economic Strategy draw attention to the importance of increasing value added to grow Maine’s economy and boost wages. The Council seeks for Maine to be within 15% of the U.S. average by 2030, while the State strives for 10% growth from 2017 levels.

* EPSCoR is the National Science Foundation’s Established Program to Stimulate Competitive Research, a program to assist places with historically low levels of funding for research and development. There are 25 states in the program. (See the table of contents for a full list of states)



Source
U.S. Bureau of Economic Analysis

ECONOMY

In keeping with the entrepreneurial spirit



Owners Jocelyne Kamikazi and husband Andre Nzeyimana at the counter of Burundi Star Coffee in Portland
(Photo credit: Tim Greenway/Mainebiz)

International Exports

+16%

In 2022-2024, Maine exports were 16% higher than the previous three-year period.

Benchmark: Maine’s international exports will grow at a pace faster than U.S. international exports.

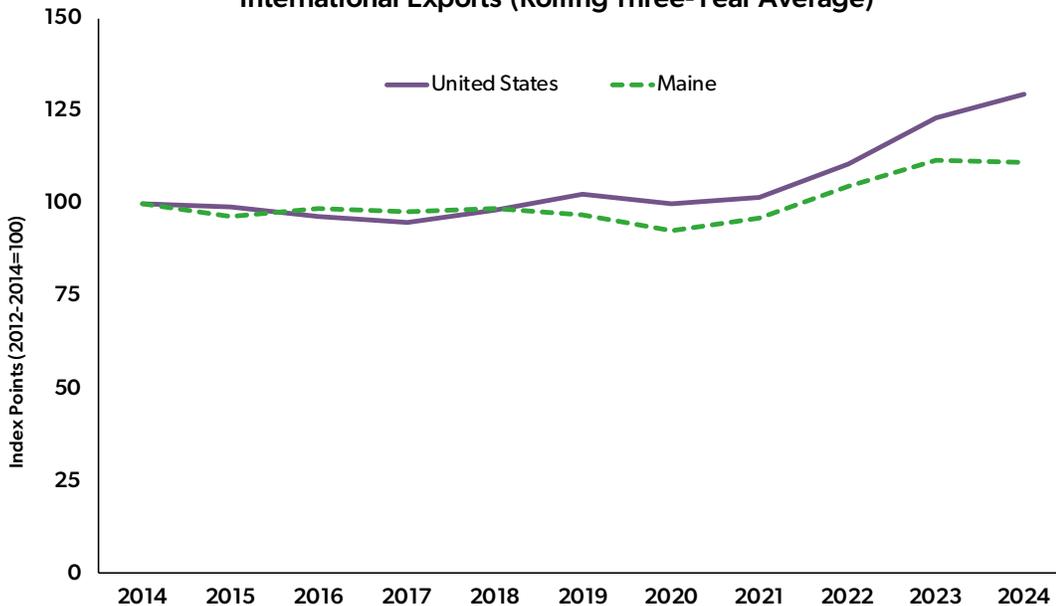
Maine businesses exported \$3.1 billion worth of goods in 2024, up 3% from the previous year. This metric looks at exports over three years because in Maine’s small economy, exports in any given year can fluctuate sharply based on the sales of a few companies. From 2019-2021 to 2022-2024, Maine exports rose 16%. That was strong growth, although less than the 27% national growth rate.

In 2024, Maine’s gains and losses occurred across a range of industries. Sales of wood pulp, chemical products, and beverages grew, while sales of mineral fuels and oil, wood products, and aircraft parts fell. Seafood exports rose slightly,

but are still 33% below their 2021 peak, likely due in part to China’s tariff on U.S. lobster. Canada remains Maine’s leading trade partner with \$1.3 billion in exports in 2024, followed by Japan, Malaysia, the Netherlands, Germany, and China.

Sales to customers in other states and countries provide valuable opportunities for Maine businesses. According to one estimate, international exports account for about 2.0% of Maine businesses’ total sales (below the national rate of 3.9%). Sales made within Maine to international customers, such as those to foreign tourists and students, also provide injections into the state’s economy, but are not tracked.

International Exports (Rolling Three-Year Average)



Source

Maine International Trade Center; Camoin Associates

Research & Development

+24%

In 2022, R&D spending as a share of GDP rose 24% but remained far below national levels.

Benchmark: Maine’s research and development spending as a proportion of the economy will reach the U.S. average by 2030.

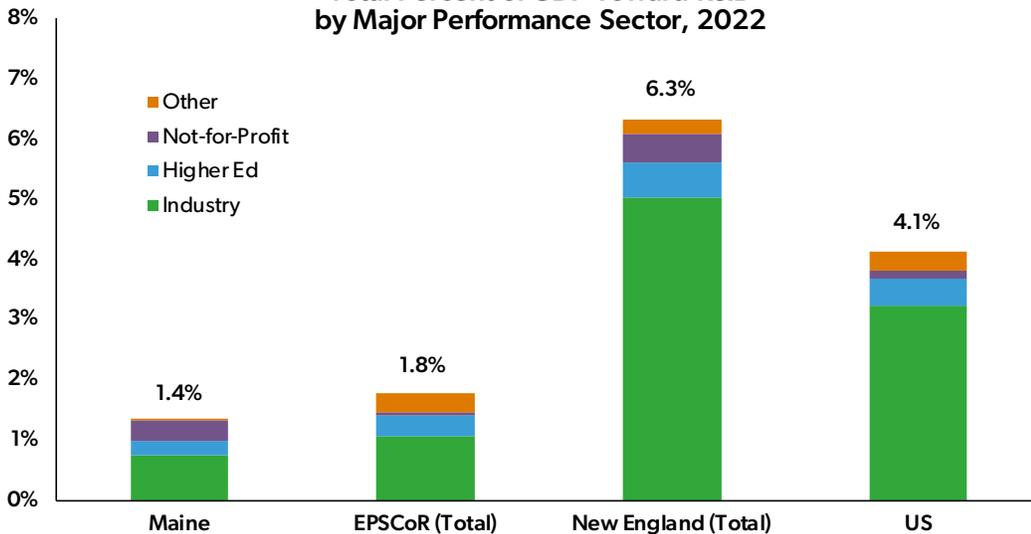
Research and development (R&D) spending is an indicator of the level of innovation in an economy, an important driver of economic growth. In 2022, Maine’s total R&D spending was \$1.2 billion, up 36% from the previous year. This growth was distributed across industry (+31% growth), higher education (+16%), and non-profit organizations (+73%). In all, Maine’s R&D spending equaled 1.4% of total gross domestic product (GDP), compared to 4.1% nationwide. This ranks Maine 42nd of the 50 states and is about three-fourths of the 1.8% average among EPSCoR states. Maine lags other states in private sector and

university R&D investments relative to GDP, while our non-profit sector contributes a relatively high proportion of spending.

The University of Maine System Board of Trustees has prioritized the expansion of R&D across the system. In 2022 the University of Maine earned an R1* top-tier research designation, and in 2024, its R&D expenditures reached \$249 million, a record high.

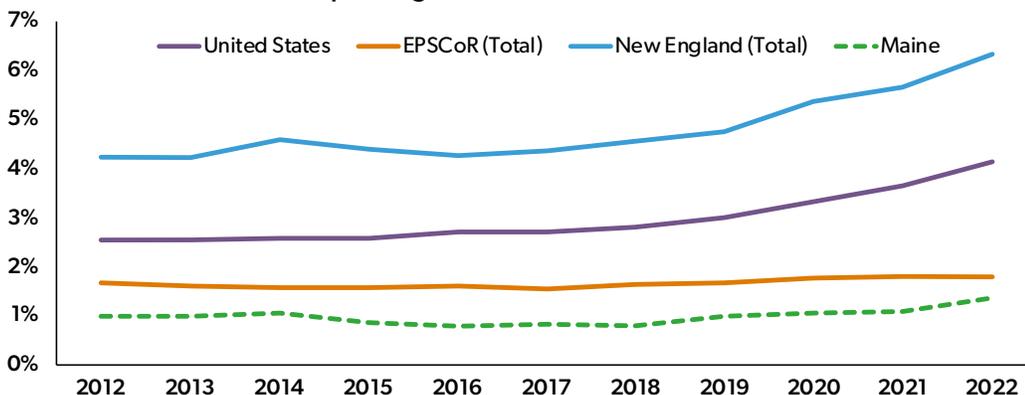
*“R1” refers to doctoral universities with “very high research activity,” as defined by the Carnegie Classification of Institutions of Higher Education.

Total Percent of GDP Toward R&D by Major Performance Sector, 2022



Source
Camoin Associates;
University of Maine

Total R&D Spending as a Percent of Gross Domestic Product



Administered
by MDF

Research & Development: Collaborative Research and Investment Strengthens an Iconic Maine Industry

Research and development fuel the innovations that will shape Maine's future. Bringing together universities, businesses, and entrepreneurs, R&D investments help create new knowledge, products, and services that grow our economy.

Maine's wild blueberry industry is one of the state's most iconic agricultural traditions and its enduring success is deeply tied to a unique partnership with the University of Maine. In 1945, recognizing the need for research to support production, blueberry growers formed the Wild Blueberry Commission of Maine. They worked with lawmakers to establish a small tax on every pound of blueberries processed in the state. Those funds (still collected today) directly support research at the University of Maine that benefits the industry.

This investment has paid off many times over—in the past five decades, blueberry production has risen 500%. In recent years, university researchers have developed weather-based monitoring systems that help growers control mummy berry, a fungal disease that can devastate yields. By pinpointing the short window when treatment is most effective, the system reduces both crop losses and unnecessary pesticide use. Another breakthrough has been in managing the invasive spotted wing drosophila, a fruit fly capable of ruining an entire harvest. Research showed that the pest enters fields from the edges, leading growers to adopt targeted perimeter spraying—cutting costs and chemical use while protecting the crop.

Looking ahead, the University and the Commission are collaborating on harvest efficiency, testing new technologies that could dramatically increase crop yield. This work holds promise for helping Maine's wild blueberry industry thrive in an increasingly competitive market.

Together, growers and researchers are safeguarding not just a crop, but a cornerstone of Maine's cultural and economic identity.



Nirav Mehta in front of a wild blueberry harvester
(Photo: Eric Venturini, Wild Blueberry Commission of Maine)

"These farms and businesses, with support from the University of Maine research team, are working incredibly hard to maintain this critical, iconic industry for Maine in the face of incredible competition."

Eric Venturini
Executive Director
Wild Blueberry Commission of Maine



Dr. Seanna Annis in the field (Photo: University of Maine)

★ Entrepreneurship

-12%

In 2023, the ratio of business starts to closures fell 12 percentage points but remained positive for a tenth year.

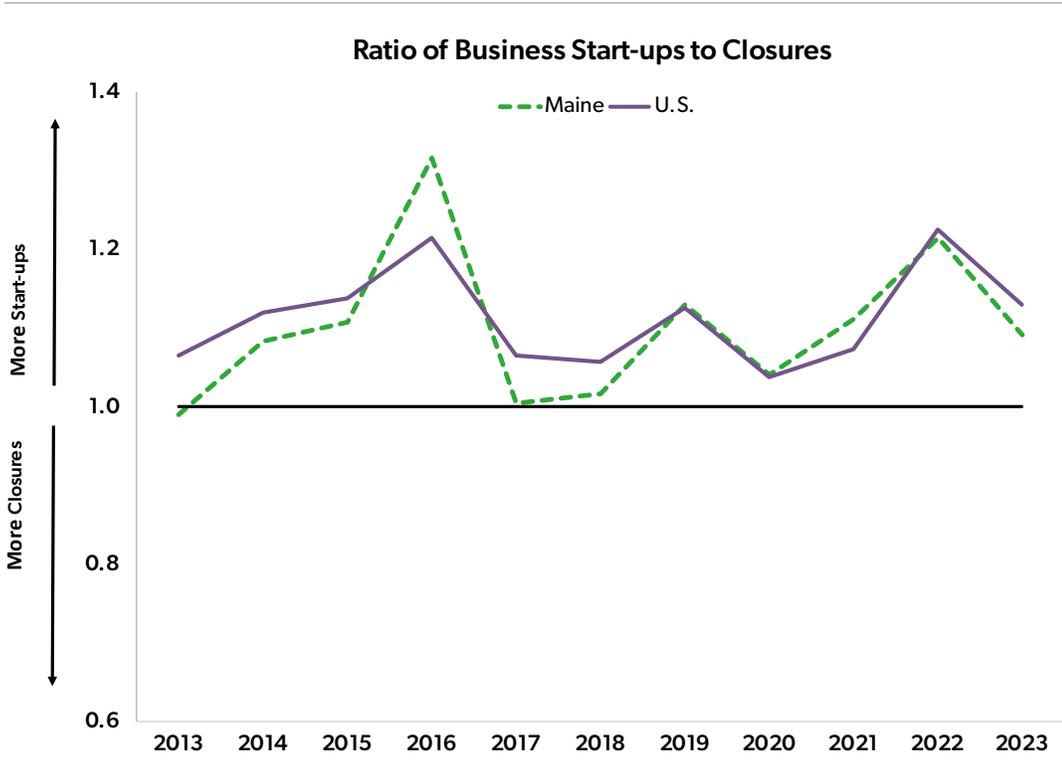
Benchmark: Maine’s ratio of business start-ups to closures will be positive and equal to or above the national average.

This entrepreneurship metric compares the number of business establishments that are started in Maine each year with the number that close. A start-up-to-closure ratio greater than 1 means more businesses are being created than closed each year.

In 2023, Maine’s ratio of start-ups to closures was 1.09, meaning 9% more businesses were created (3,591) than closed (3,289). This was just below to the U.S. ratio of 1.12 but it was the tenth year during which Maine’s ratio was positive. The creation of new businesses is a vital economic activity. Entrepreneurship

contributes to innovation, creates jobs, and builds wealth. In a vibrant economy, people have the skills to identify and respond to business opportunities, access to capital, supports for starting and scaling businesses, and connections to human capital.

Note: This metric has been updated with a new data source (the U.S. Census Bureau’s Business Dynamics Statistics) that captures openings and closures of traditional business establishments. The previous data source captured these plus relocations of remote workers, which made it a less accurate measure of entrepreneurship.



Source
U.S. Census Bureau

Prekindergarten Education

+1%

In 2024, the share of Maine four-year-olds in public pre-K rose 1 percentage point to 49%.

Benchmark: There will be universal preschool access in Maine by the 2026-2027 school year.

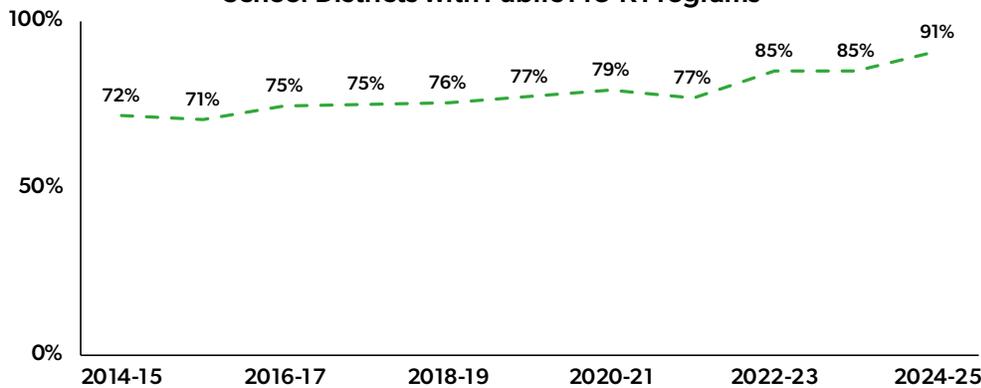
High-quality, affordable early care and education are critical to Maine’s economic development. It prepares young Mainers for success in school and supports their parents’ full participation in the workforce, a fact highlighted during the COVID pandemic.

In 2023, a new state law established the goal of “universal access” to public preschool for all Maine four-year-olds by the 2026-2027 school year. The National Institute for Early Education Research estimates that 47% of Maine four-year-olds were enrolled in public pre-K in 2022-2023, surpassing pre-COVID levels and exceeding the U.S. average of 35%. The remaining 53% of Maine children were not enrolled.

The extent to which this was due to lack of access or family choice is unknown. A significant number of unenrolled children may be part of the 9% of Maine four-year-olds in Head Start programs. They may also be receiving Special Education services.

The percentage of Maine school districts with at least one public pre-K classroom has increased dramatically, from 24% in the late 2000s to 85% last year. According to the Maine Department of Education, many districts that do not yet offer public pre-K are either very small and lack enough four-year-olds to justify a program, or are larger and may lack the space, capacity, and/or financial means to open and sustain a program.

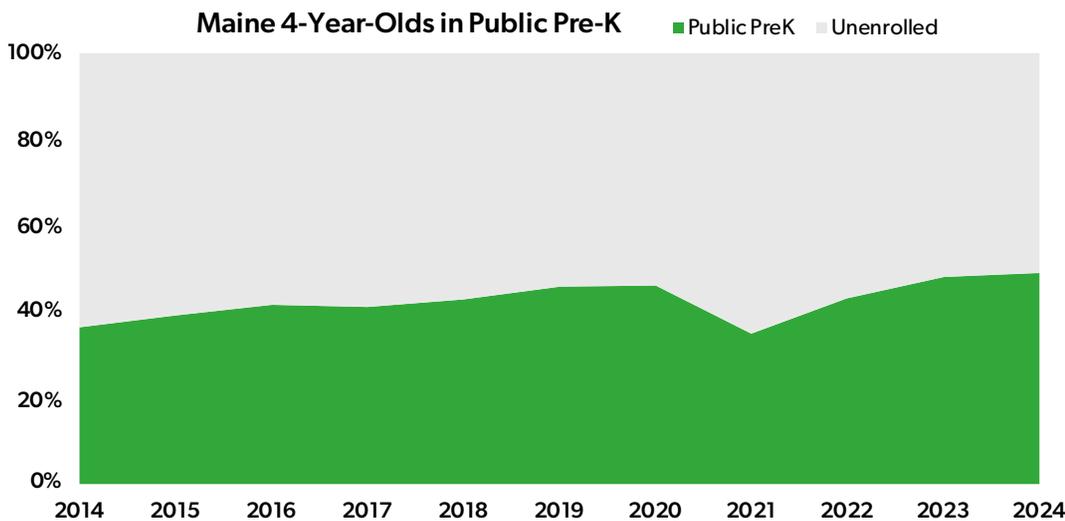
School Districts with Public Pre-K Programs



Source

Maine Department of Education; National Institute for Early Education Research

Maine 4-Year-Olds in Public Pre-K



Fourth-Grade Reading

+4%

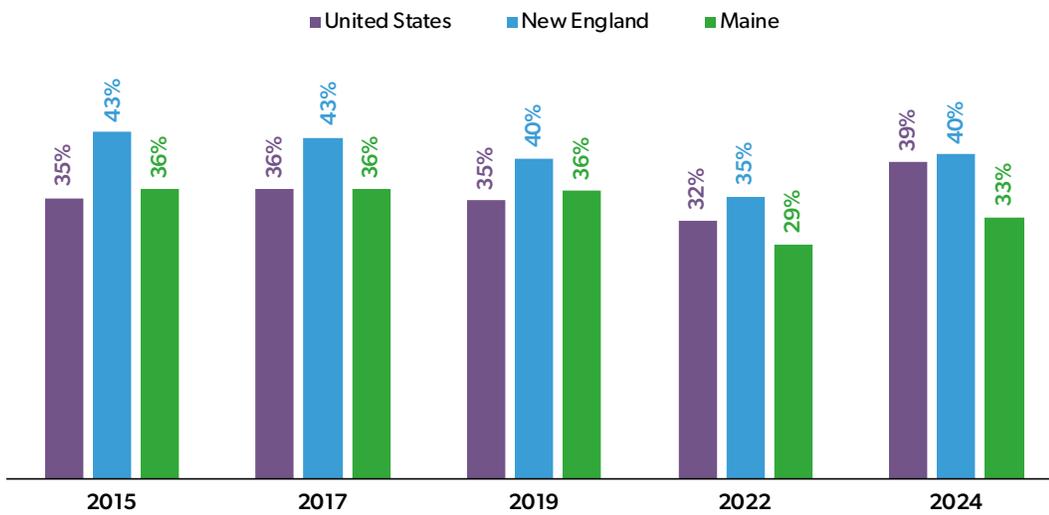
In 2024, the percentage of Maine 4th graders who were proficient in reading rose 4 percentage points to 33% but were below national standards.

Benchmark: The percentage of Maine students scoring proficient or above on NAEP will reach 50% by 2030.

In 2024, 33% of Maine 4th graders met the reading proficiency benchmark of the National Assessment of Educational Progress (NAEP). This was an improvement from 29% in 2022 but below the national average of 39%. By this measure, Maine ranked 44th lowest of the 50 states. Before COVID, Maine ranked at or above the national average. A sample of 1,900 Maine 4th graders took the assessment.

Fourth-grade reading scores are an indicator of future outcomes like educational attainment, employment, and earnings. Fourth-grade reading proficiency is defined as solid academic performance and competency over challenging subject matter, application to real-world problems, and appropriate analytical skills. The NAEP tests representative samples of fourth and eighth graders every other year to allow national and state comparisons.

Percentage of 4th Graders Scoring Proficient or Above in Reading

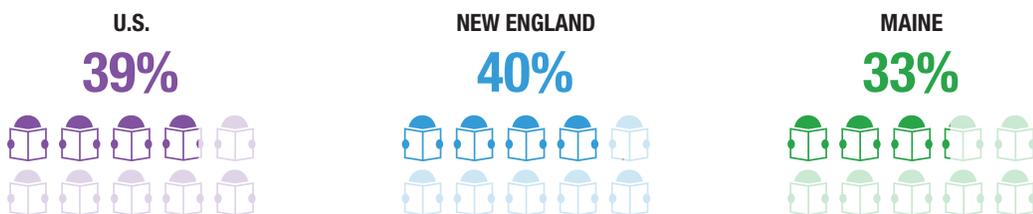


Source

National Center for Education Statistics; National Assessment of Educational Progress (NAEP).

New England average is unweighted.

4th Graders Scoring Proficient or Above in 2024



Eighth-Grade Math

+1%

In 2024, the share of Maine 8th graders who were proficient in mathematics rose 1 percentage point to 25% but remained below national standards.

Benchmark: The percentage of Maine students scoring proficient or above on NAEP will reach 50% by 2030.

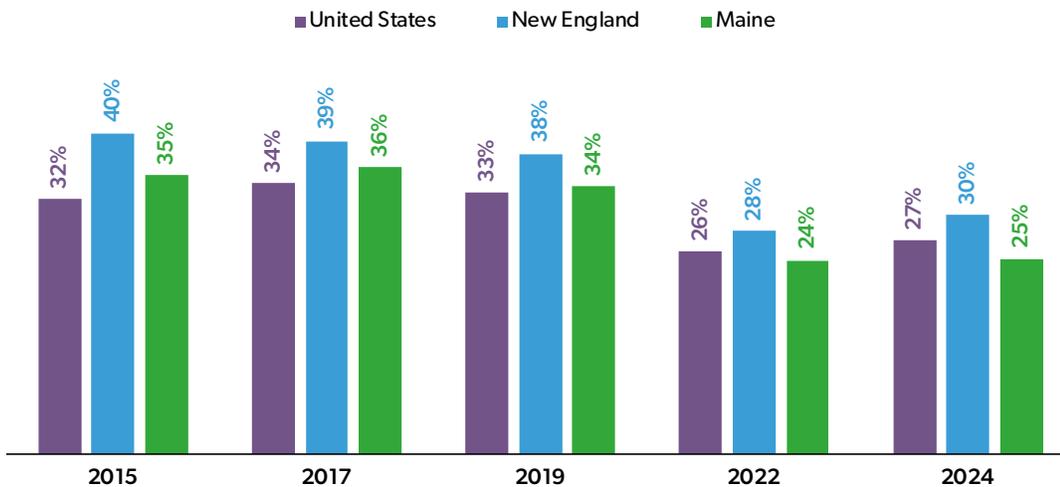
In 2024, 1 in 4 Maine 8th graders (25%) met the math proficiency benchmark of the National Assessment of Educational Progress (NAEP). This was an increase from 24% in 2022, but below the national average of 27%. By this measure, Maine ranked 31st lowest of the 50 states. Before COVID, Maine ranked at or above the national average. In 2024, 1,900 Maine 8th graders took the NAEP assessment.

Eighth-grade math scores reflect foundational skills and indicate whether students are on track for college and career readiness. Math is a cornerstone of the STEM (science,

technology, engineering, and math) disciplines, which can lead to in-demand job skills and well-paid careers in growing fields. Math addresses knowledge and skills to solve problems, make sense of information, and accurately gather and evaluate evidence to make decisions.

Eighth-grade math proficiency is defined as solid academic performance and competency over challenging subject matter, application to real-world problems, and appropriate analytical skills. The NAEP tests representative samples of fourth and eighth graders every other year to allow national and state comparisons.

Percentage of 8th Graders Scoring Proficient or Above in Math



Source

National Center for Education Statistics; National Assessment of Educational Progress (NAEP).

New England average is unweighted.

8th Graders Scoring Proficient or Above in 2024



Postsecondary Degrees & Credentials

+1.5%

In 2023, 56.6% of Maine adults had a degree or credential of value, up 1.5 percentage points.

Benchmark: By 2025, 60% of Maine adults will have a degree or credential of value.

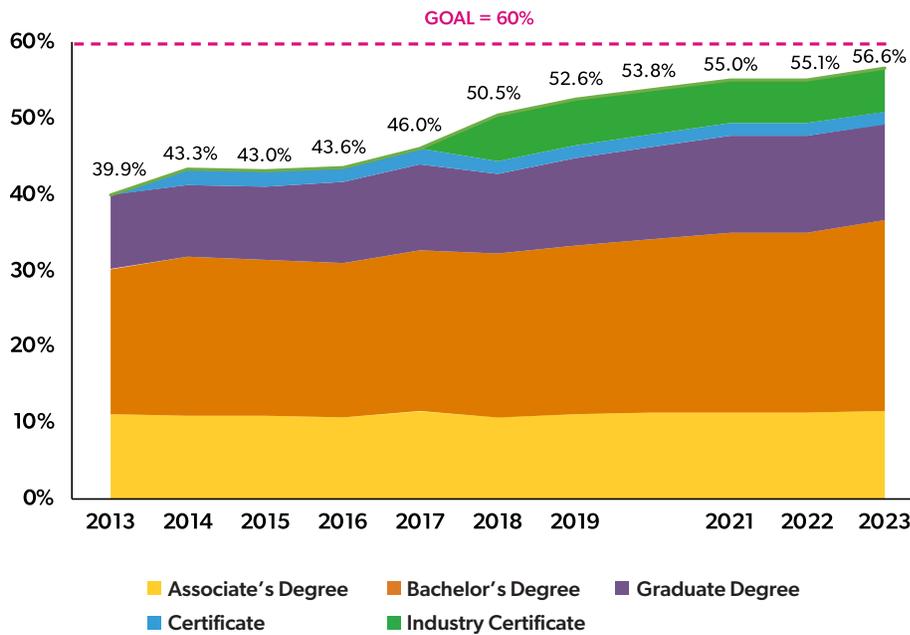
In 2023, an estimated 56.6% of Maine adults ages 25-64 held an associate, bachelor’s, graduate, or professional degree, or a credential of value, up from 55.1% in 2022. Most of the recent growth was in bachelor’s degrees.

Maine has made significant progress in postsecondary attainment, with the share of adults holding a credential of value rising 6.1 percentage points since 2018. The Council supports Maine’s statutory goal of 60% of adults holding a degree or credential by 2025 – a goal promoted by MaineSpark, a coalition

of education institutions, nonprofits, foundations, government agencies, and businesses.

This metric recognizes the growing importance of credential career paths, including professional certifications, licenses, digital badges, and military service. The Lumina Foundation reports that in 2023, 7.3% of Maine adults ages 25-64 who lacked postsecondary degrees held one of these occupational credentials. That is above the New England average of 5.9% and below the national average of 7.8%.

Postsecondary Attainment of Maine Adults



Source
Lumina Foundation

Adult Ages 25-64 Degree Attainment Rates, 2023

	Associate's Degree	Bachelor's Degree	Graduate or Professional Degree	Credential or Certificate	Total
Maine	11.5%	25.1%	12.6%	7.3%	56.6%
New England	7.8%	26.6%	20.2%	5.9%	60.6%
United States	9.2%	23.4%	14.5%	7.8%	54.9%

Cost of Doing Business

0%

In 2022, Maine's cost of doing business was unchanged.

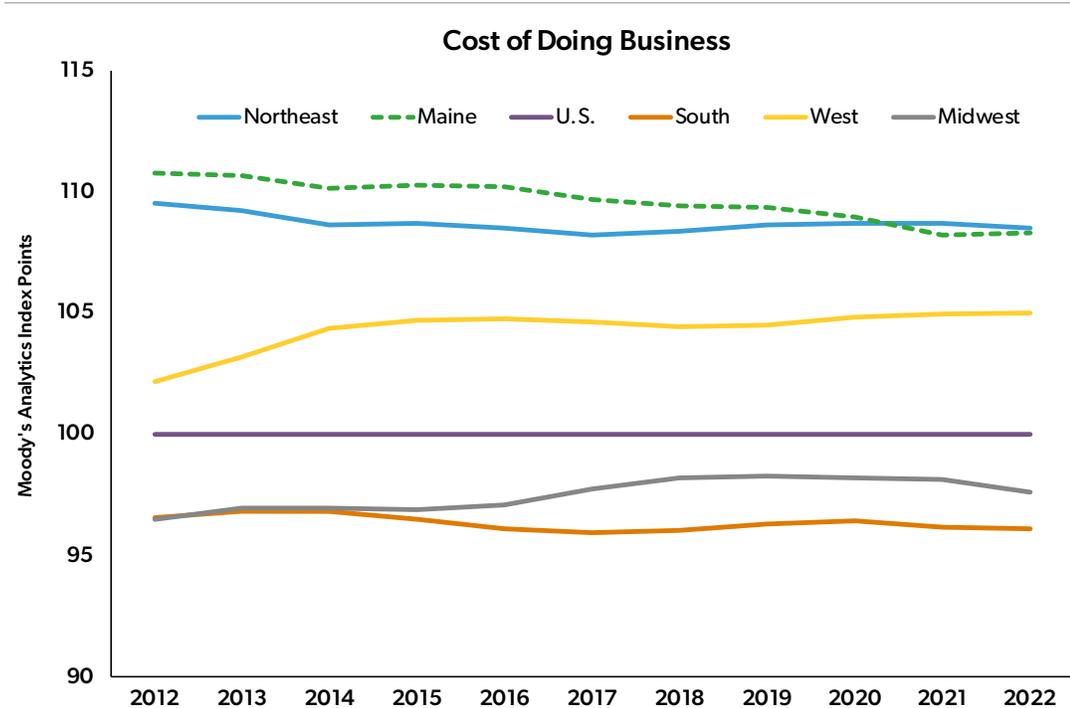
Benchmark: Maine's cost of business will decline to the U.S. average by 2030.

In 2022, Maine's cost of doing business ranked 10th highest in the U.S., but second lowest in New England. The broader Northeast region consistently has higher business costs than other areas of the country. Historically, Maine's costs have exceeded the Northeast average but in 2022 they were below the average for the second year in a row. Maine's labor costs are 19th in the country, while its tax burden ranks 7th.

Moody's Analytics' cost of doing business index is a weighted scale of labor costs (wages, benefits, and productivity), commercial and industrial electricity costs, and state and local tax burden. A value of 100 equals the U.S. average.

2022 New England State Ranks: Business Costs
(1 is highest)

	Overall	Labor	Energy	Tax Burden
MA	2	4	4	13
VT	3	12	8	3
NH	7	7	6	50
RI	8	14	5	11
ME	10	19	10	7
CT	11	44	7	5



Source
Moody's Analytics

Cost of Health Care

+0.5%

Proportional health care expenditures rose 0.5 percentage points in 2024.

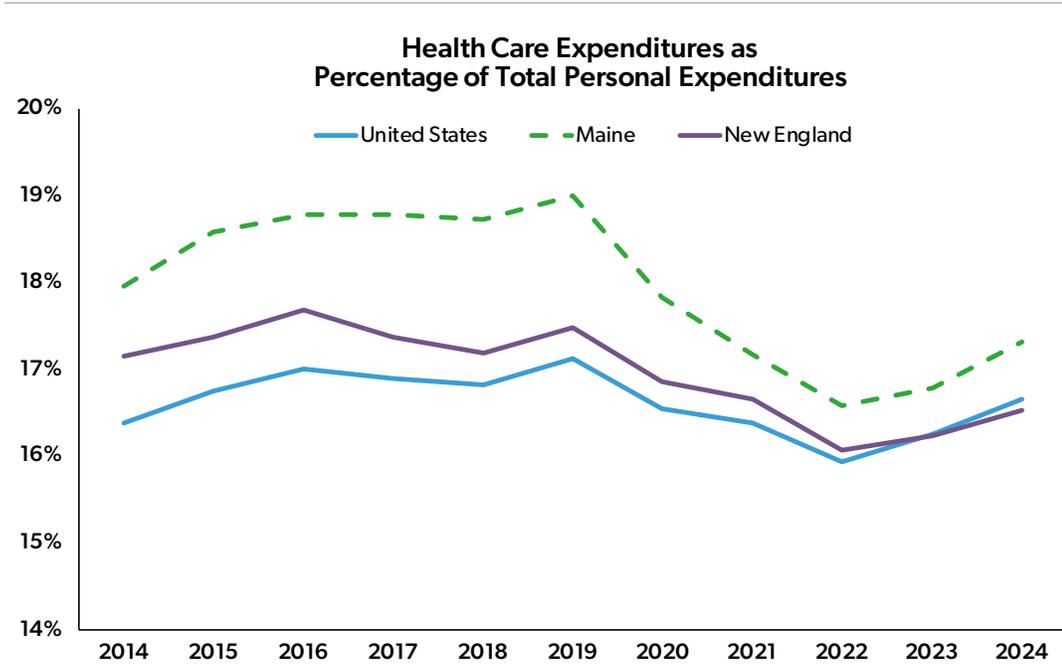
Benchmark: Maine’s health care spending as a percentage of total personal expenditures will decline to the New England average by 2030.

Our measure of health care costs tracks the percentage of total personal expenditures that are devoted to health care. Maine people and businesses consistently identify the high cost of health care as a major concern.

In 2024, health care spending in Maine stood at 17.3% of all personal expenditures, down from its peak of 19.0% in 2019. While health care expenditures in Maine are higher than the U.S. and New England rates, the gap has narrowed. They fell sharply in 2020, largely due to the decline of noncritical services during

COVID. Still, in Maine and across the nation, about 1 in 6 dollars generated in the economy goes to medical expenses.

In 2024, the median contribution for family health insurance coverage of a Maine employee was \$6,100. By this measure, Maine ranked 17th highest of the 50 states. For employers, the median contribution was \$20,000 — among the 15 highest. These estimates come from a relatively small survey and should be interpreted with caution.



Source
U.S. Bureau of Economic Analysis;
U.S. Department of Health and Human Services

Median Contribution for Family Coverage, 2024



Cost of Energy

-6%

The average price of electricity fell 6% in 2024, although commercial and industrial rates rose slightly.

Benchmark: The cost of electricity in Maine will be the lowest in New England by 2030.

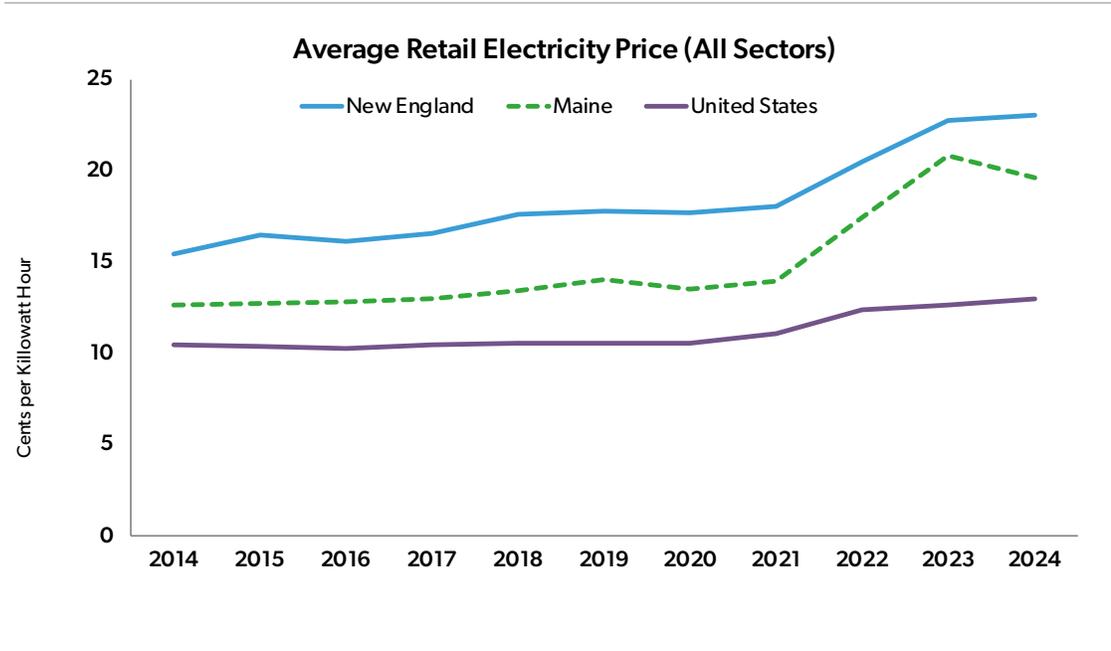
The average retail price of electricity paid by customers across all sectors (residential, industrial, and commercial) fell 6% in 2024, from 20.84 to 19.62 cents per kilowatt hour, coming down from an unusually high year in 2023. Nationwide, prices increased 2%. Maine’s electricity rates are the second lowest in New England, and 15% below the regional average, but they exceed the national average by 51%.

Residential energy prices, paid by Maine homeowners and many small businesses, fell 13% in 2024. Industrial rates paid by large production facilities (for manufacturing, agricultural, and

construction, etc.) rose 3%. Commercial rates paid by hospitals, large retailers, office and residential facilities, also rose 3%.

Electricity is a significant cost for many businesses, especially those in energy-intensive industries such as manufacturing. The energy intensity of Maine’s economy is about average for the U.S. (ranking 28th of the 50 states in 2022) but the highest in New England.

Note: This metric has been updated to reflect the average electricity price across all sectors (residential, industrial, and commercial) and reports the movement within each sector in the narrative. Previous editions of Measures of Growth focused exclusively on industrial prices. This new, broader measure reflects the importance of energy costs for all businesses and households.



Source
U.S. Energy Information Administration

Maine Electricity Sectors, 2024

	Number of Accounts	Total Electricity Use (million KWh)	Average Retail Price 2024 (cents)	Change (2023-2024)
Residential	740,817	4,878	23.89	-13%
Commercial	111,007	4,098	18.35	+3%
Industrial	1,927	2,268	12.71	+3%

State & Local Tax Burden

+0.2%

In 2022, Maine's tax burden rose 0.2 percentage points to 11.7%.

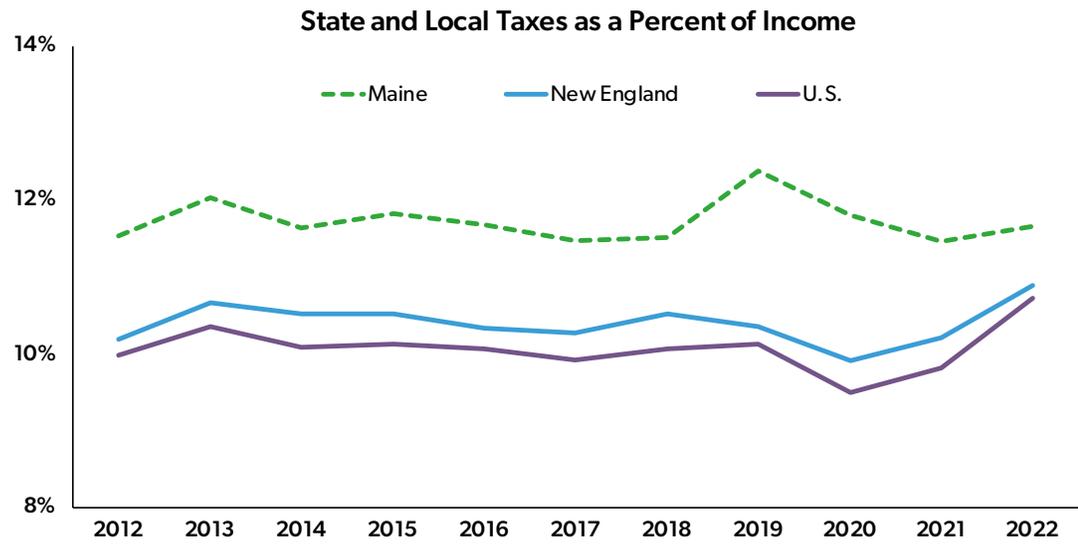
Benchmark: Maine's tax burden will decline and move toward the New England average each year through 2030.

The percentage of total personal income paid in state and local taxes (property, sales, income, corporate, motor vehicle, and other taxes) is our tax burden measure. This measure can be reduced by lowering taxes, increasing incomes, or both. While taxes impose costs on individuals and businesses, they generate revenue for public services and investments.

In 2022, Maine's tax burden was 11.7%, a 2% increase from 11.5% in 2021. Meanwhile, the New England and U.S. average tax burdens rose 9% and 7%, respectively. Maine's tax burden was 7% above the New England average, compared to 19% in 2019 and 2020. Maine ranks 10th highest of the 50 states in state and local taxes as a percentage of income and 16th highest in tax collections per capita. This measure does not account for the portion of sales and property taxes paid by out-of-state visitors and second-home owners.

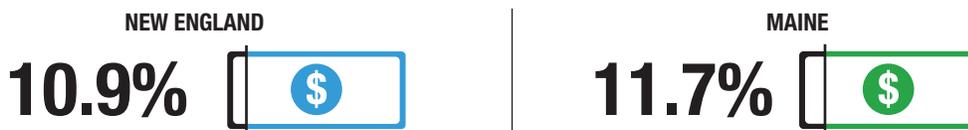
State and Local Tax Burden Rank 2022
(1 is highest)

State	% of Income	Rank	Per Capita	Rank
U.S.	10.7%	-	\$7,089	-
NE	10.9%	-	\$8,688	-
VT	12.8%	5	\$8,152	9
ME	11.7%	10	\$7,185	16
CT	11.4%	12	\$9,703	3
RI	10.9%	14	\$6,993	17
MA	10.9%	15	\$9,327	6
NH	7.9%	48	\$5,930	29



Source
U.S. Census Bureau and U.S. Bureau of Economic Analysis

State and Local Taxes as a Percent of Income in 2022





COMMUNITY

Living, working, and moving forward together



Family participates in the Annual Spring Roadside Cleanup Day in Belfast
(Photo credit: Maine Department of Transportation & Main Street Maine)

★ Internet Connectivity

+3%

In 2025, 92% of Maine locations have average or broadband internet, up 3 percentage points.

Benchmark: Anyone in Maine who wants a high-speed internet connection can have one by 2025.

High-speed internet is vital to participation in modern society and critical for communities to attract and retain businesses and residents. The Maine Connectivity Authority (MCA) is committed to expanding access to reliable, high-speed, affordable internet service statewide.

Data from the federal government shows that 50% of Maine locations currently have internet that provides 100 Mbps download and 100 Mbps upload (“100/100” or “broadband internet”) or higher. Forty-two percent have access to speeds between 100/20 and 100/100 (“average service”), and 8% have speeds below 100/20 (“unserved”).

Since 2022, MCA has allocated over \$400 million of state and federal funds to enable connectivity for more than 110,000 locations. At this time, all locations in Maine have an option for working internet. Those in unserved areas have the option for subsidized satellite-based service, ahead of planned wired and wireless solutions that will be deployed in the next few years.

Locations with Broadband Service, 2025

(100 Mbps download/100 Mbps upload)

Coastal Counties

Knox	58%
Cumberland	53%
Hancock	53%
Sagadahoc	50%
York	42%
Waldo	36%
Lincoln	26%

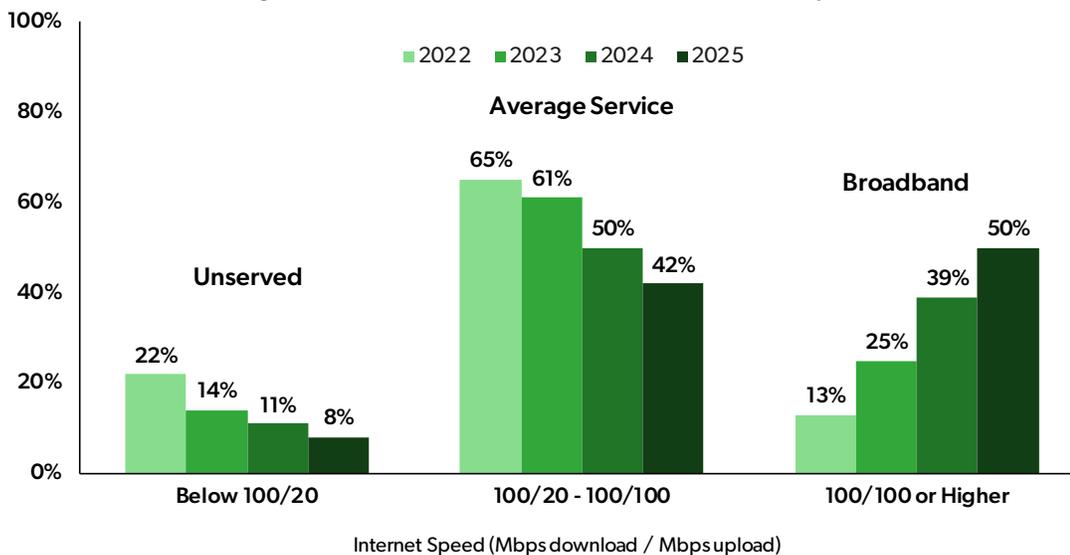
Central Counties

Anrdocoggin	66%
Penobscot	59%
Kennebec	50%

Rim Counties

Somerset	84%
Franklin	71%
Piscataquis	67%
Aroostook	34%
Washington	32%
Oxford	30%

Percentage of Maine Locations with Internet Access by Service Level



Source
Maine Connectivity Authority

Administered by MDF

Housing Affordability

+1%

In 2024, the share of households unable to afford the median-priced home worsened 1 percentage point to 64%.

Benchmark: The percentage of households unable to afford the median-priced home will remain below 50%.

Data on homeownership affordability shows a troubling trend. The COVID-19 pandemic sparked a surge in homebuying that pushed up sale prices in Maine and nationwide. As a result, the estimated percentage of Maine households that cannot afford the median-priced home has risen from 39% in 2020 to 64% in 2024. * This means the cost of the home’s mortgage, taxes, and insurance would exceed 30% of the household’s income. This number may be inflated due to an increase in sales of high-priced homes. Nevertheless, the need for affordable housing is a recurring theme across the state.

Housing is a significant portion of household budgets, and housing costs reflect everything from the supply of housing stock, to public policies regarding planning and new construction, to lending practices and interest rates. Regions with affordable housing are better able to attract and retain workers. Affordable housing also has broad positive impacts on health and childhood development, which benefit individuals and communities alike.

*This estimate reflects a new methodology adopted by MaineHousing in 2025. The affordability threshold was raised from 28% to 30% to align with industry standards, and updated data cleaning and estimation procedures were adopted as part of MaineHousing’s continuous improvements.

Households Unable to Afford Median-Priced Home 2024

(Use no more than 30% of gross income for house payment)

Coastal Counties

Knox	81%
Sagadahoc	77%
Cumberland	77%
York	75%
Lincoln	74%
Hancock	74%
Waldo	66%

Central Counties

Androscoggin	67%
Kennebec	66%
Penobscot	55%

Rim Counties

Oxford	69%
Franklin	64%
Somerset	59%
Washington	56%
Piscataquis	52%
Aroostook	46%

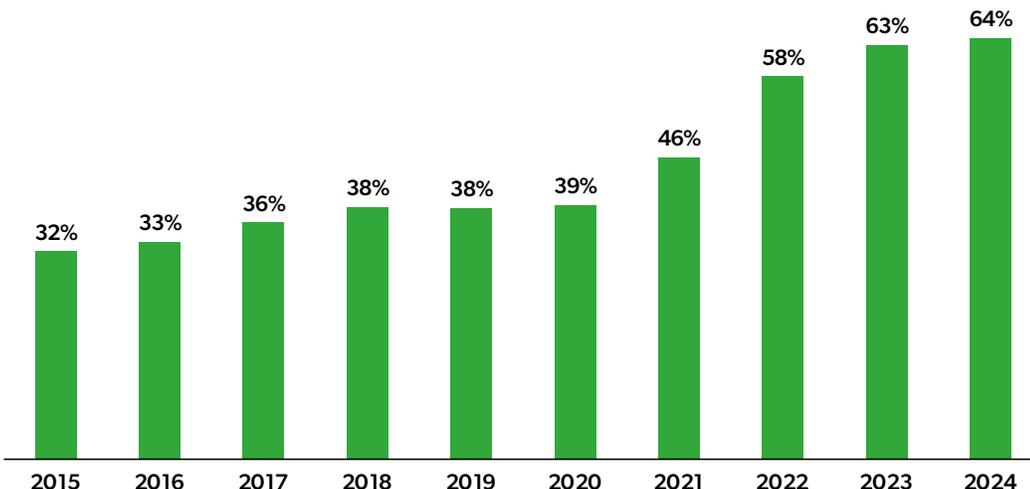
MAINE 64%

Maine Households Unable to Afford Median-Priced Home (Use no more than 30% of gross income for house payment)

Source

MaineHousing

Administered by MDF



Transportation

0%

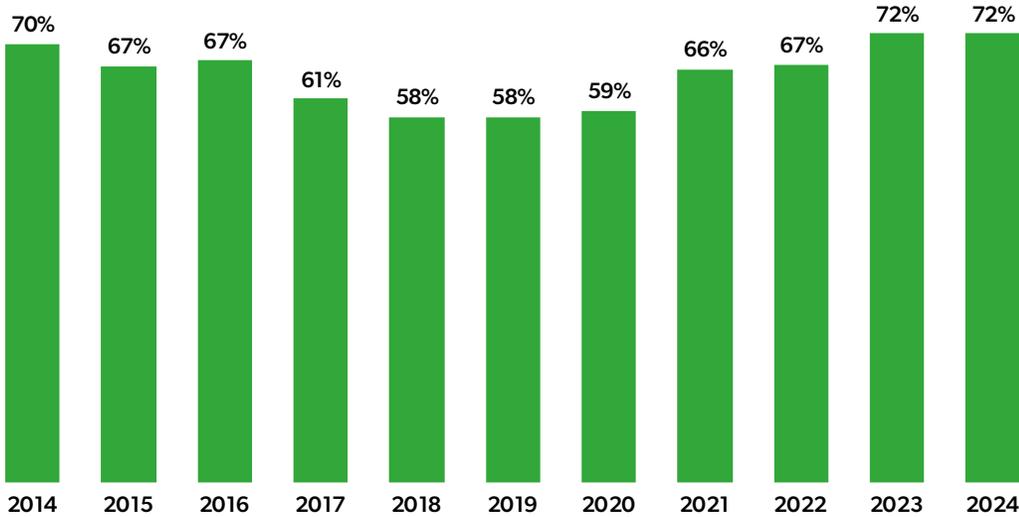
In 2024, 72% of Maine roadways were rated good or fair, unchanged from 2023.

Benchmark: At least 85% of highway corridor Priority 1 miles will be rated Excellent, Good, or Fair.

The Maine Department of Transportation (MDOT) grades roadways from A (excellent) to F (unacceptable). In 2024, 1,063 miles (72%) of Maine’s most traveled and economically significant (“Priority 1”) roadways were graded A, B or C, unchanged from 2023, but up from 58% in 2018-2019. MDOT attributes this to increased state and federal funding. Four hundred eighteen miles (28%) were graded D or F. Our roadways carry the vast majority of passengers and freight. Poor road conditions can lead to personal injury, property damage, and extended commute times.

Transportation plays a crucial role in the functioning of our economy. Together, roads, rails, airports, and seaports promote economic activity by getting goods and people to their destinations efficiently and affordably. Public transportation is a critical component of this system, allowing people to access employment and services without a car, and reducing congestion and pollution. According to research published by the John T. Gorman Foundation, Maine’s current public transit operators meet just 11% of estimated need.

Highway Miles Rated Excellent, Good, or Fair



Source
Maine Department of Transportation;
John T. Gorman Foundation

Transportation: Driving Opportunity in Aroostook County

From harbors to highways, transportation networks fuel Maine's growth and vitality. Innovative organizations are expanding access so everyone can reach the places and opportunities that move them forward.

In Aroostook County, reliable transportation can mean the difference between having a job and being cut off from opportunity. The Workforce Connector, operated by Aroostook Regional Transportation System and funded by the Maine Department of Transportation, bridges this gap. The service picks up riders at home and takes them directly to and from work for free. This enables people without a car—or who share one with other household members—to work jobs that would otherwise be out of reach.

The impact can be life-changing. Some now have their first steady job because they can finally get to work on time. Others have taken better-paying positions with employers farther from home. One person who was unhoused says, "After months of using the service and hard work, I was placed into a permanent position and my son and I stepped out of homelessness and into our own apartment."

Riders describe feeling less isolated and more in control of their futures. Matt Bechard eventually purchased a car with the money he saved from no longer taking taxis and working more. "I finally feel independent. I can work extra shifts on the weekends, go where I need to go, when I need to go. It's a huge relief."

In a place where opportunity is often spread across hundreds of square miles, the Workforce Connector is doing more than moving people from point A to point B—it's driving opportunity.



Main Street in Presque Isle (Photo: istock)

"In our area, if you do not have a car, you can't reach out to get a job because you can't get to an interview and then you can't make it to work."

Lisa Smith
 Mobility Manager
 Aroostook Regional Transportation System



Aroostook Workforce Connector van with ARTS staff members Hillary Harris, Lisa Smith, Aaron Conroy, and Travis Drost (Photo: Aroostook Regional Transportation System)

★ Safety

-8%

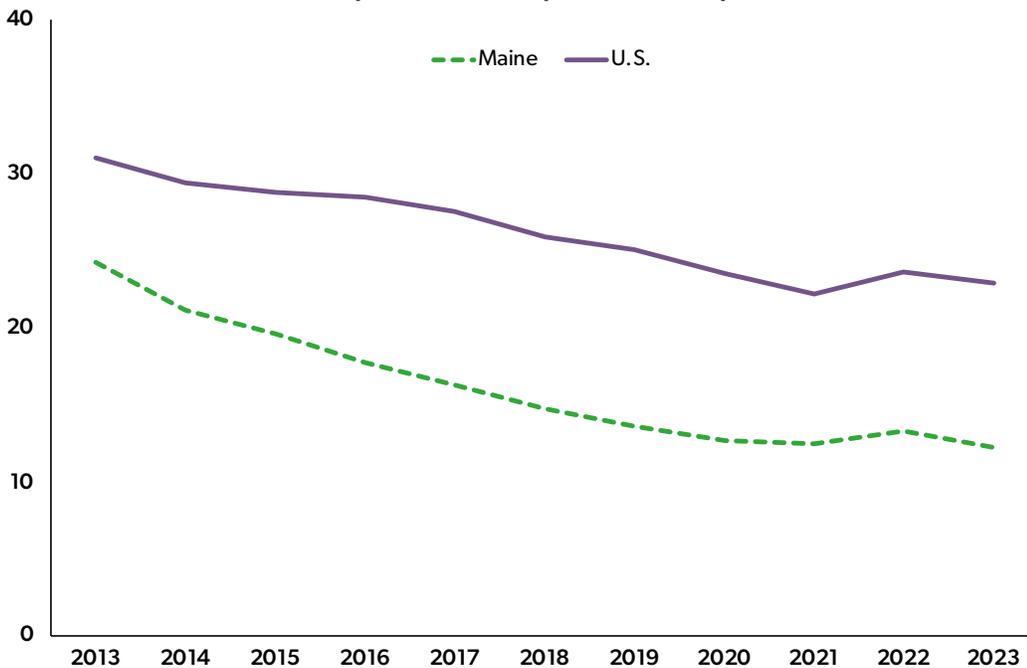
Maine’s crime rate fell 8% in 2023.

Benchmark: Maine’s crime rate will remain 33% or more below the U.S. rate through 2030.

Maine’s crime rate fell to 12.2 per 1,000 residents in 2023. This was 47% below the national average and third lowest of the 50 states. Violent crimes fell 2.2% despite the mass homicide in Lewiston in October 2023. This is because there were declines in two other categories of crime in that measure—aggravated assault and rape. Property crimes fell 7.6%. Maine’s low crime rates are likely due in part to the age of its population since criminal offenses decline with age.

Crime rates measure physical safety, an important aspect of quality of life. Crime is costly to individuals and impacts communities by depressing property values, discouraging investment, and increasing insurance premiums. The crime rate includes data on larceny, burglary, aggravated assault, motor vehicle theft, rape, robbery, arson, and murder.

Reported Crimes per 1,000 People



Source
Federal Bureau of Investigation

Physical Wellness

-0.6%

In 2024, 67% of adult Mainers were overweight or obese, down 0.6 percentage points. This rate has been consistent for over a decade.

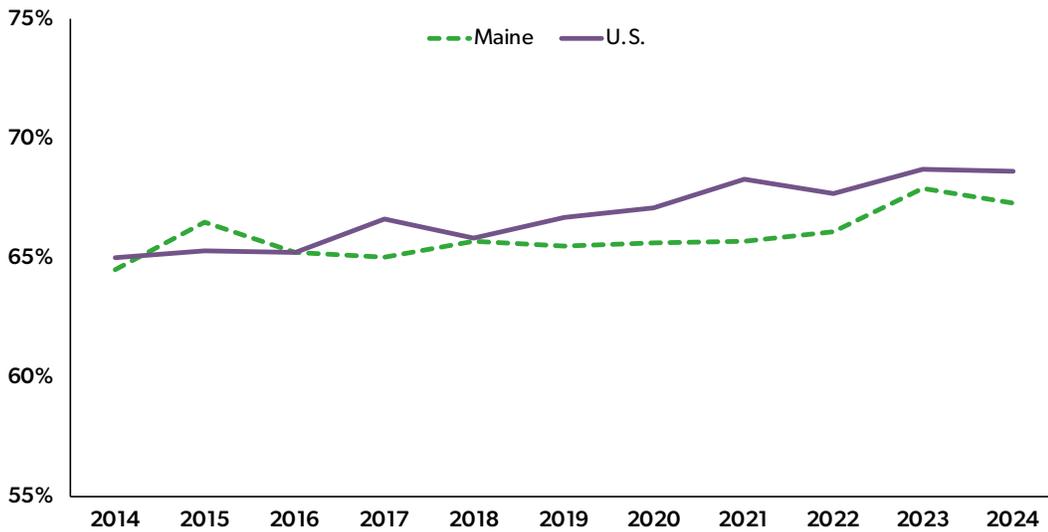
Benchmark: The combined percentage of overweight and obese adults in Maine will decline to 50% by 2030.

In 2024, 2 out of 3 Maine adults (67%) were overweight (body mass index of 25 to 29.9) or obese (body mass index of 30 or greater), just below the national average. Maine’s rate has steadily risen, up from 56% in 2000. Excess body weight increases the risk of chronic diseases like diabetes, heart disease, stroke, asthma, arthritis, and some cancers. These conditions

negatively affect quality of life and workplace productivity, and increase medical expenses.

In 2022-2023, almost 1 in 3 Maine youth ages 6-17 (32.5%) was overweight or obese, equal to the national rate. Childhood obesity is a serious, widespread problem that can cause long-term health challenges.

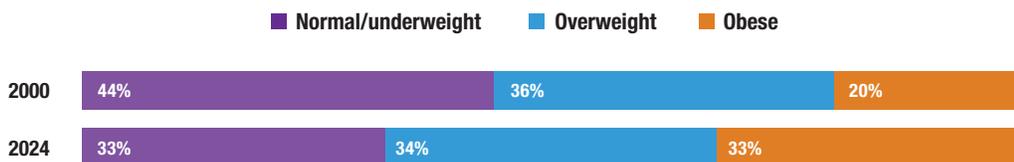
Percentage of Overweight and Obese Adults



Source

U.S. Centers for Disease Control and Prevention; Center for Child and Adolescent Health Measurement Initiative

Comparing Maine Adults: 2000 & 2024



Mental & Behavioral Health

+2%

In 2022-2023, the percentage of children with a mental and/or behavioral condition rose 2 percentage points.

Benchmark: The share of Maine children with a diagnosed mental and/or behavioral condition will decline over time.

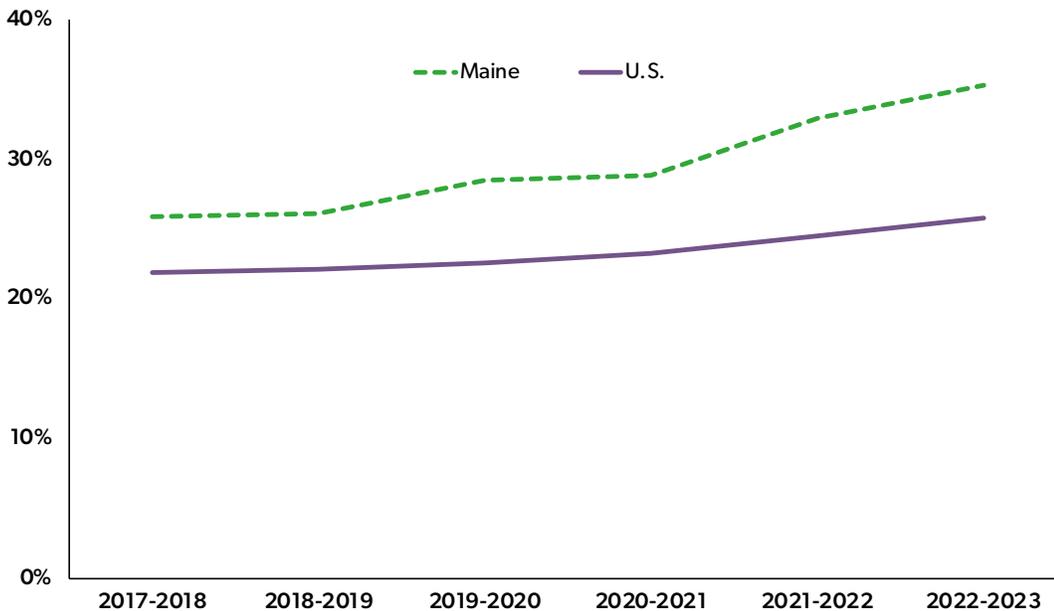
Mental and behavioral health plays an important role in how children learn, grow, form relationships, and handle stress. It influences their overall health and well-being, and their future conduct as employees, parents, and community members.

In 2022-2023, an estimated 35% of Maine children had a diagnosed mental, emotional, and/or behavioral condition such as anxiety, depression, a learning disability, or autism.* This was up from 26% in 2017-2018 and significantly higher than the U.S. average of 26%. In 2023, 35% of Maine high schoolers reported feeling sad or hopeless every day for two weeks or more. According to the Maine Children’s Alliance, “teen mental health is a growing crisis in the state and the nation.”

Many older Mainers are also experiencing challenges. Mental wellness impacts individuals’ quality of life and their activities at home, at work, and within their communities. In one recent survey, 18% of Maine adults reported symptoms of anxiety or depression. An equal percentage of adults nationwide reported these symptoms — up from just 11% in 2019. Maine saw record drug-related deaths in recent years. Although the numbers are declining, the impacts of substance use ripple through households, schools, and communities.

* Diagnoses are reported by parents and include anxiety, depression, behavior and conduct problems, developmental delay, intellectual disability, speech or language disorder, learning disability, Autism, Attention Deficit Disorder or Attention Deficit/Hyperactivity Disorder, and Tourette Syndrome.

Children with a Mental and/or Behavioral Condition



Source

National Children’s Health Survey, U.S. Centers for Disease Control and Prevention; Maine Integrated Youth Health Survey; U.S. Census Bureau Household Pulse Survey

Health Insurance Coverage

+0.7%

In 2023, the percentage of Mainers with health insurance coverage rose 0.7 percentage points and remains above the U.S. average.

Benchmark: The percentage of Maine’s population with health insurance coverage will rise and remain above the U.S. rate.

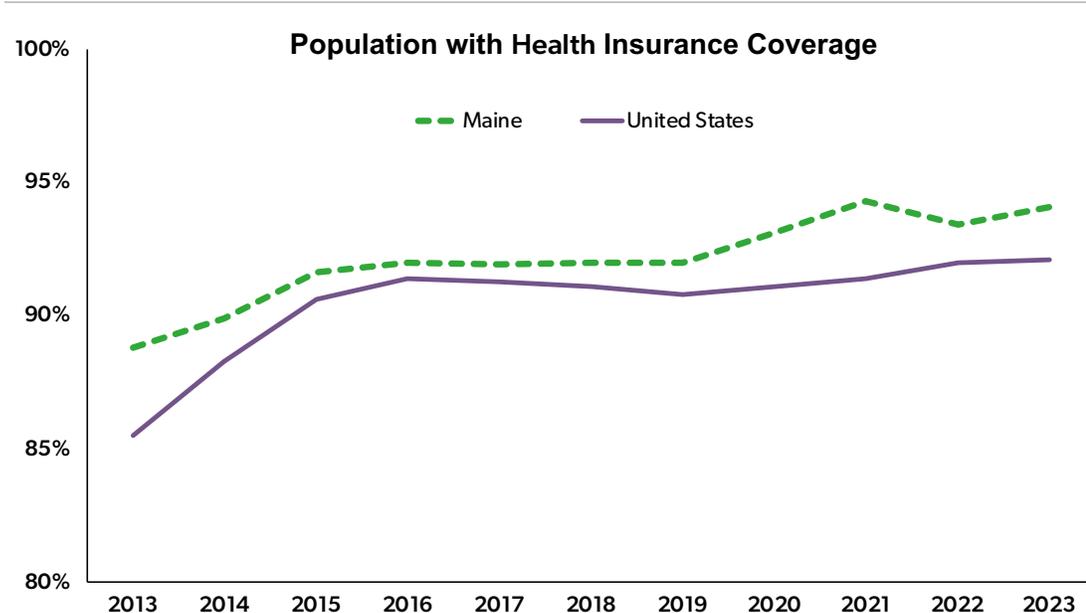
This measure tracks the proportion of the population with health insurance coverage. Higher health insurance coverage rates improve access to health care services, support local health care systems, and boost families’ ability to pay for necessities.

The proportion of Maine residents with health insurance coverage has exceeded 90% since 2015. In 2023, it was 94%, which exceeds the national average of 92%. An estimated 81,000 people in Maine do not have health insurance coverage. Regionally, health insurance coverage rates for people under age 65 range from 89% in Washington County to 94% in Cumberland County.

The Census Bureau’s Small Area Health Insurance Estimates offer data on racial differences in health insurance coverage in Maine. In 2023, 92-93% of White and Asian Mainers under age 65 had health insurance coverage, compared with 90% of Black Mainers, 88% of American Indian Mainers, and 83% of Hispanic Mainers.

Population Under Age 65 with Health Insurance Coverage, 2023

Coastal Counties	Rate
Cumberland County	94%
York County	93%
Sagadahoc County	93%
Waldo County	92%
Lincoln County	91%
Knox County	90%
Hancock County	90%
Central Counties	
Kennebec	93%
Androscoggin	92%
Penobscot	92%
Rim Counties	
Piscataquis County	91%
Aroostook County	91%
Franklin County	91%
Somerset County	91%
Oxford County	90%
Washington County	89%



Source
U.S. Census Bureau

Administered by MDF

Food Security

+1%

In 2021-2023, the share of Mainers experiencing food insecurity rose almost 1 percentage point to 10.9%.

Benchmark: Maine’s percentage of food insecure households will decline to the U.S. average by 2030.

Food insecurity has broad negative impacts on health, child development, education outcomes, and productivity. Food-insecure households have disrupted eating patterns, reduced food intake, and reduced quality or variety of diet.

According to the U.S. Department of Agriculture, about 1 in 9 Maine households (10.9%) was food insecure in 2021-2023, up from 9.5% in 2019-2021. * This increase may reflect the cessation of pandemic-era federal supports for low-income households, such as the expanded Child Tax Credit, and new restrictions to the Supplemental Nutrition Assistance Program (SNAP). Maine’s rate of food insecurity was below the national average of 12.2% and above the New England unweighted average of 9.5%.

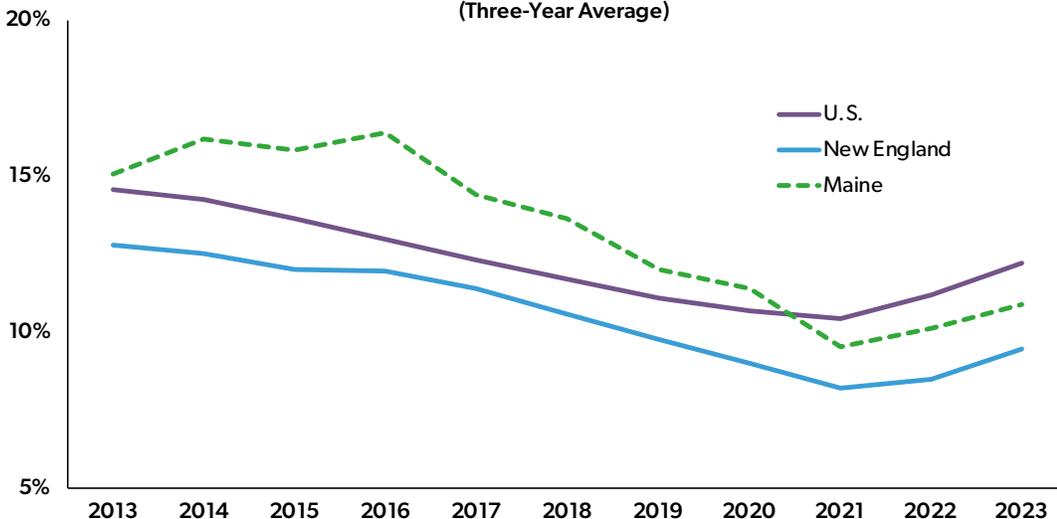
County-level data are from a different source with a slightly higher estimate of food insecurity (14% for Maine in 2023). According to Feeding America, 2023 food insecurity ranged from 11.6% in Cumberland County to over 16% in Aroostook, Piscataquis, Somerset, and Washington counties.

*** In September 2025, the U.S. Department of Agriculture terminated the annual Household Food Security Reports that generate these estimates. It has not identified a replacement for this long-standing national benchmark.**

Food Insecurity Rates by County, 2023

Coastal Counties	Rate
Cumberland	11.6%
York	12.3%
Knox	12.3%
Lincoln	12.5%
Sagadahoc	12.9%
Hancock	13.1%
Waldo	14.4%
Central Counties	
Kennebec	14.5%
Androscoggin	15.0%
Penobscot	15.3%
Rim Counties	
Franklin	14.5%
Oxford	15.3%
Somerset	16.5%
Aroostook	16.7%
Piscataquis	17.3%
Washington	18.1%

Food Insecure Households, 2013-2023
(Three-Year Average)



Source
U.S. Department of Agriculture; Feeding America



ENVIRONMENT

By land, lake,
sea, and stream



Friends of Baxter State Park looking toward Mt. Katahdin from Millinocket Lake at New England Outdoor Center
(Photo credit: New England Outdoor Center (NEOC))

Air Quality

-12 days

In 2024, there were 27 moderately unhealthy days, 12 fewer than in 2023.

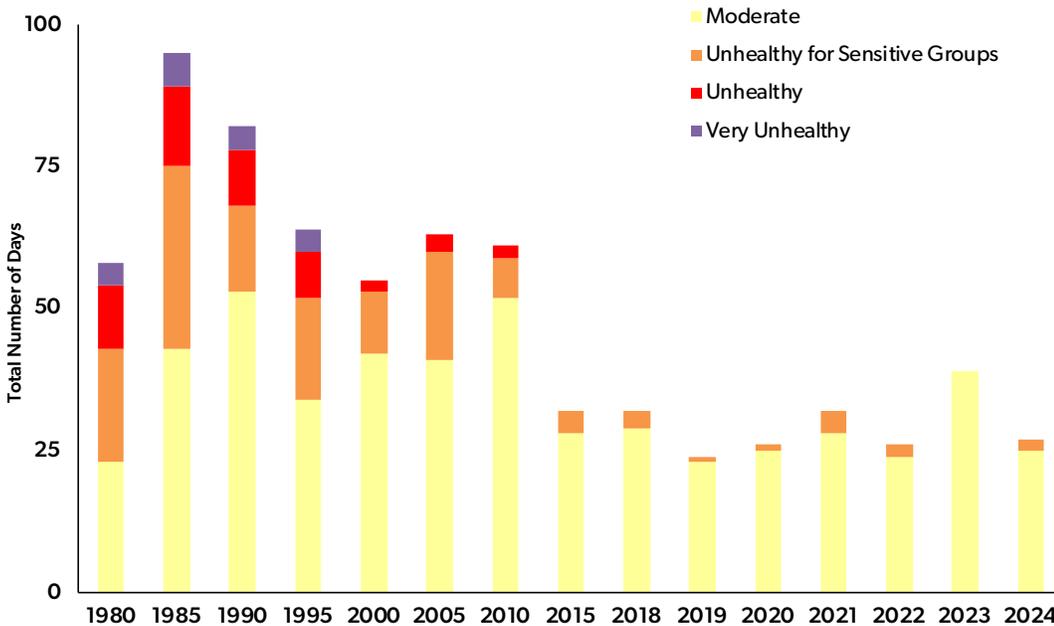
Benchmark: The overall number of days classified as a health risk and the severity of risks will be maintained through 2030.

In 2024, there were 25 moderate air quality days, and 2 days rated unhealthy for sensitive groups (e.g., people with heart and lung disease, older adults, children). This was a return to recent levels after a spike in 2023 due to smoke from wildfires beyond Maine’s borders.

After declining in the 1980s and 1990s, air quality in Maine has improved substantially, and is better than most other states.

Maine’s air quality index is based on ozone levels and reflects the number of days each year when the maximum ozone level recorded in the state reaches moderate or unhealthy levels. Maine’s air quality contributes to health and wellness, and makes it an attractive place to live, do business, and visit. Air quality is subject to factors both within and beyond our borders.

Maine Air Quality Index, 1980-2024



Source
Maine Department of Environmental Protection

Sustainable Forestlands

+3%

In 2023, the ten-year growth-to-removal ratio rose 3% to 1.55 and remained above the sustainability goal.

Benchmark: A net growth-to-removal ratio of approximately 1:1 will be maintained over time.

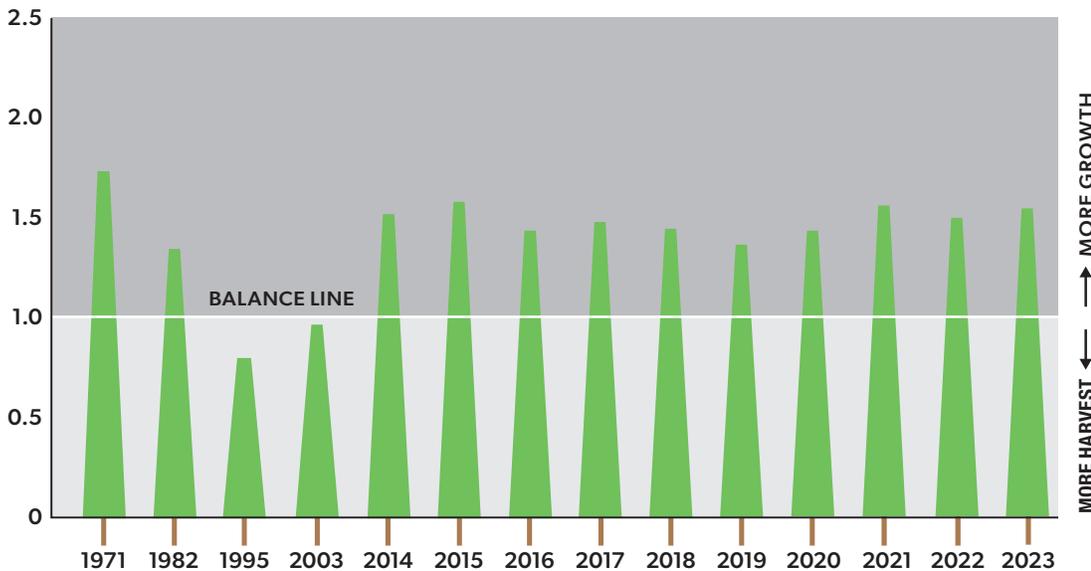
Sustainable forestry supports Maine’s economy, environment, and quality of life, and well-planned forest management activities can help address issues related to forest health, climate change, and other factors affecting forest conditions.

The sustainable management of Maine’s forests is measured by the ten-year growth-to-removal ratio of timber by volume (not acreage). A net growth value above one means growth exceeded removals, and a value below one means removals exceeded growth. In 2023, the ten-year growth-to-removal ratio rose 3% to 1.55 and remained sustainable. Net timber volume growth

has exceeded removals over the past decade. In other words, Maine has been growing more wood volume than it has been harvesting. That was not the case in the previous two decades.

Forests cover nearly 90% of Maine’s land area. Private entities and individuals own 92% of forested acreage, with much of it accessible to the public. Forests provide habitat for wildlife, help protect air and water quality, offer recreational opportunities, and supply raw materials for products ranging from paper to building materials to alternative fuels.

Timberland Growth-to-Removal Ratio



Source
Maine Forest Service

Water Quality: Skowhegan—Where the Past Flows into the Future

Maine’s environment is a treasured asset and central to our cultural identity. It can also be a foundation for sustainable economic growth and strong communities.

Skowhegan has always drawn opportunity from the Kennebec River and surrounding land. Long before industry arrived, the Wabanaki people used the river for transportation and planted crops along its banks. Later, it fueled log drives and powered mills. Today, the town is reimagining its natural assets as engines of an economy rooted in outdoor recreation, local food, and quality of life.

This transformation is the result of decades of planning and engagement. A recent survey showed \$34 million in current or planned investment in Skowhegan’s downtown, including a \$24 million redevelopment of the former Spinning Mill that will bring a boutique hotel and market-rate housing to the riverfront. Since 2015, every \$1 invested in Main Street Skowhegan, the Town’s community revitalization organization, has generated over \$20 in grants and sponsorships.

The planned Skowhegan River Park and promenade aim to draw on the town’s greatest natural asset. Paddlers will ride a newly designed whitewater wave. People will gather on a riverfront boardwalk with fire pits, games, and views of the gorge.

Revitalization in Skowhegan also creates opportunities for residents. Main Street Skowhegan provides free outdoor gear and teaches residents how to navigate the trails and rivers that define the region. A new shared-use commercial kitchen will give food entrepreneurs a space to grow. In every project, the past and future move forward together as residents return to the river, honor the land, and put old resources to work in powerful new ways.



Sunset over the Kennebec in downtown Skowhegan
(Photo: Capshore & Kennebec Valley Tourism Council)

“If we make Skowhegan a great place to live, then it’s also a great place to visit, to move, to start a business, to invest.”

Kristina Cannon
President and CEO
Main Street Skowhegan



Skowhegan Craft Brew Festival
(Photo: Jonathan Wheaton Photography)

Water Quality

0%

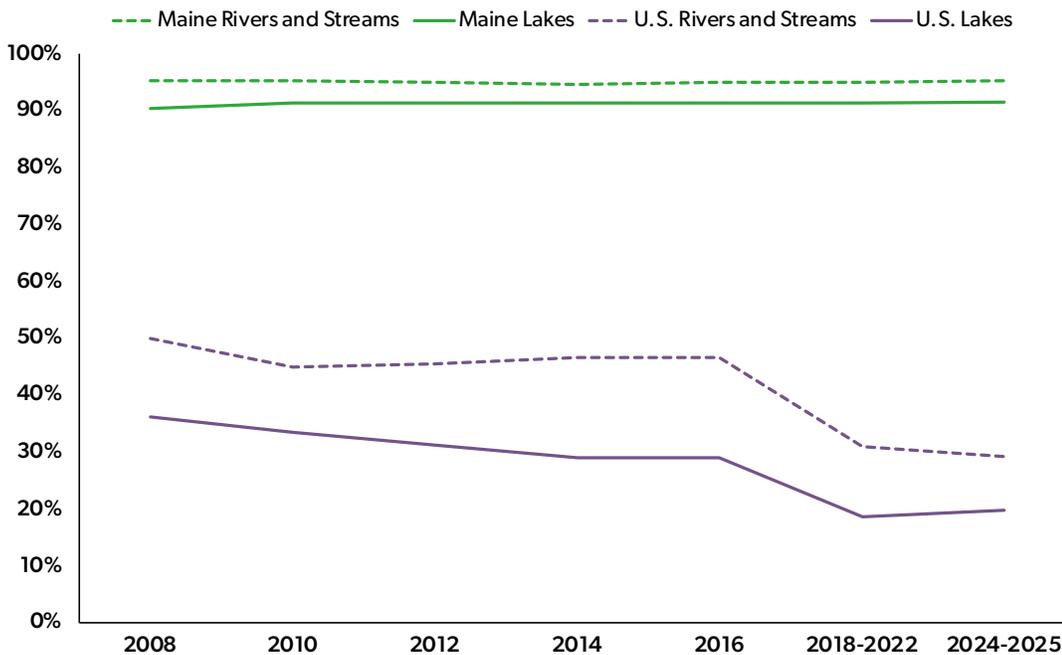
In 2024, Maine maintained its excellent water quality rating.

Benchmark: The percentage of Maine’s assessed water bodies classified as Category 1 or 2 will be maintained over time.

This measure is based on reports by the Maine Department of Environmental Protection and U.S. Environmental Protection Agency (EPA) on the water quality of Maine rivers, streams, and lakes. The proportion of water bodies achieving Category 1 and 2 (“good”) classifications are compared to the rest of the U.S. Maine’s rivers, lakes, and streams provide drinking water and support ecosystems. They are part of the natural environment that supports tourism.

Since 2008, Maine’s water quality has been very high, with 95% of rivers and streams and 91% of lakes achieving Category 1 or 2 in 2024. Nationally, just 29% of U.S. rivers and streams, and 20% of the lakes, were rated “good” in 2025. The drop in U.S. quality has many causes, including a significant increase in the number of assessed water bodies, differing assessment methods across states, and actual declines in water quality.

Water Bodies Rated Category 1 or 2 ("Good")*



Source

Maine Department of Environmental Protection
 *U.S. ratings for 2016 reflect multiple years between 2014 and 2022. 2018-2022 includes reporting for 2018, 2020, and 2022. The chart shows 2024 for Maine and 2025 for the U.S. As of the release of this report, Maine’s 2024 ratings have not yet been verified by the EPA.

Greenhouse Gas Emissions

+1.4%

From 2020 to 2021, GHG emissions rose 1.4%.

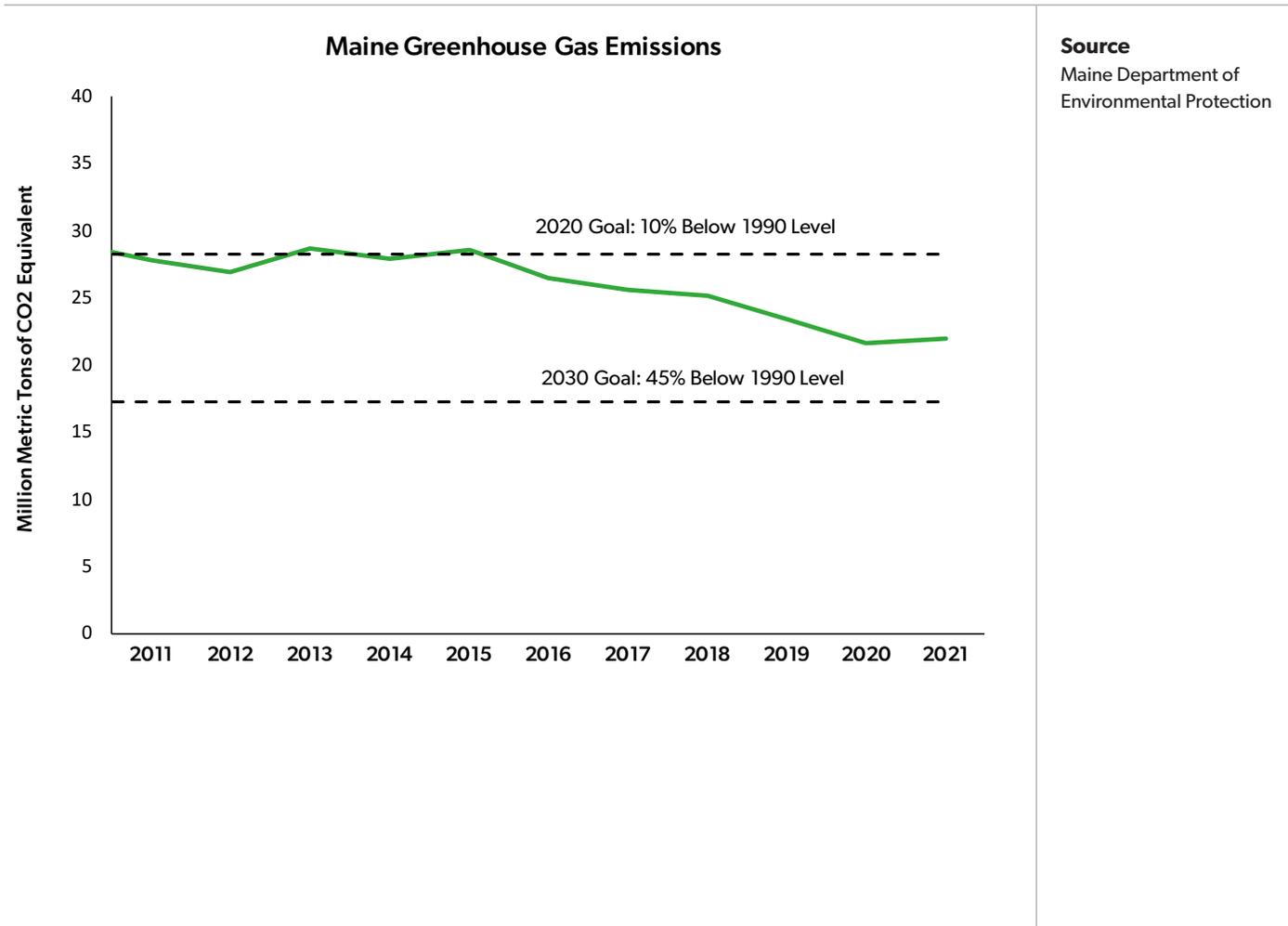
Benchmark: Greenhouse gas emissions will fall 45% below 1990 levels by 2030.

In 2020, Maine’s greenhouse gas (GHG) emissions fell when the COVID-19 pandemic temporarily halted daily activities. In 2021, they rose slightly, from 21.6 to 21.9 million metric tons of carbon dioxide. However, emissions were still 30% below 1990 levels, meaning Maine is continuing to progress toward its goal of 45% below 1990 levels by 2030.

In 2003, Maine became the first U.S. state to enact a statutory GHG target. The original goal was for emissions to be 10% below 1990 levels by 2020. Maine has been consistently below this target since 2016. In 2019, further legislation set the

goal of reducing emissions 45% below 1990 levels by 2030 and 80% by 2050.

According to the Maine Department of Environmental Protection, 94% of Maine’s emissions are from energy consumption, mostly from the combustion of petroleum products. The other 6% is from agriculture, industrial processes, and waste management. Movement toward renewable energy sources and lower carbon fuels such as natural gas have contributed to reduced emissions.



Source
Maine Department of Environmental Protection

Background

The Maine Economic Growth Council was established by statute in 1993 to develop, maintain, and evaluate a long-term economic plan for Maine. Its members represent a broad cross-section of Maine's key constituencies. Members are jointly appointed by the Governor, Senate President, and Speaker of the House. The Council is co-chaired by Steve Von Vogt, President and CEO of Maine Marine Composites, and State Representative James Dill (D-Old Town). The annual Measures of Growth report is a widely used and respected report on Maine's economy. The report is revised from time to time to provide the most current and meaningful assessment of Maine's progress toward long-term economic growth and a high quality of life for all Maine people.

The Council is administered by Maine Development Foundation (MDF), a public-private, non-partisan membership organization created in statute in 1978 that drives equitable, sustainable, long-term economic growth for Maine. The work of the Growth Council is financed by a state appropriation through the Maine Department of Economic and Community Development, with additional support provided by the membership of MDF.

The Nature of Data

The Growth Council strives to provide the most accurate, timely, and consistent data available. Some source data are regularly revised as methodologies improve and more information becomes available. As a result, the data presented here may differ slightly from that of past reports. The Council accounts for these limitations in identifying overall trends and policy implications.

Acknowledgements

The Maine Economic Growth Council and MDF extend their sincere appreciation to the individuals and organizations that generously provided data and guidance in the development of this report. Special thanks to Meghan Grabill of the Maine Connectivity Authority, Andrew Bickmore of the Maine Department of Transportation, Jim Damcis of Camoin Associates, Wade Merritt of the Maine International Trade Center, Jonathan Kurzfeld of MaineHousing, Morten Moesswilde and Jereme Frank of the Maine Forest Service, and Stacy Knapp, Meagan Sims, and Martha Webster of the Maine Department of Environmental Protection. This year's report was written by Catherine Reilly with contributions by MDF's Kathleen Shannon Nichols. The print version was designed by Cassidy Parmley of Pica and printed by Edison Press. The web version was designed by Josh Emerson of VONT.

Maine Economic Growth Council Members 2025

Stephen Von Vogt, Co-Chair

President and CEO
Maine Marine Composites

Hon. James Dill, Co-Chair

State Representative
House District 26

LuAnn Ballesteros

Vice President, External and Government Affairs
The Jackson Laboratory

Keith Bisson

President
Coastal Enterprises Inc.

Sheena Bunnell

Professor of Business Economics
University of Maine at Farmington

Donna Cassese

Government Relations Consultant
Sappi North America

James Erwin (Retired)

Lawyer
Former Chair, University of Maine System Board of Trustees

Steve Hewins

Hospitality Consultant
Former CEO, HospitalityMaine

Thomas Kittredge

Economic Development Director
City of Belfast

John Napolitano (Retired)

Former President, Maine State Building and Construction Trades Council

Hon. Harold Stewart

State Senator
Senate District 2

Tim Walton

Founder and President
Walton External Affairs

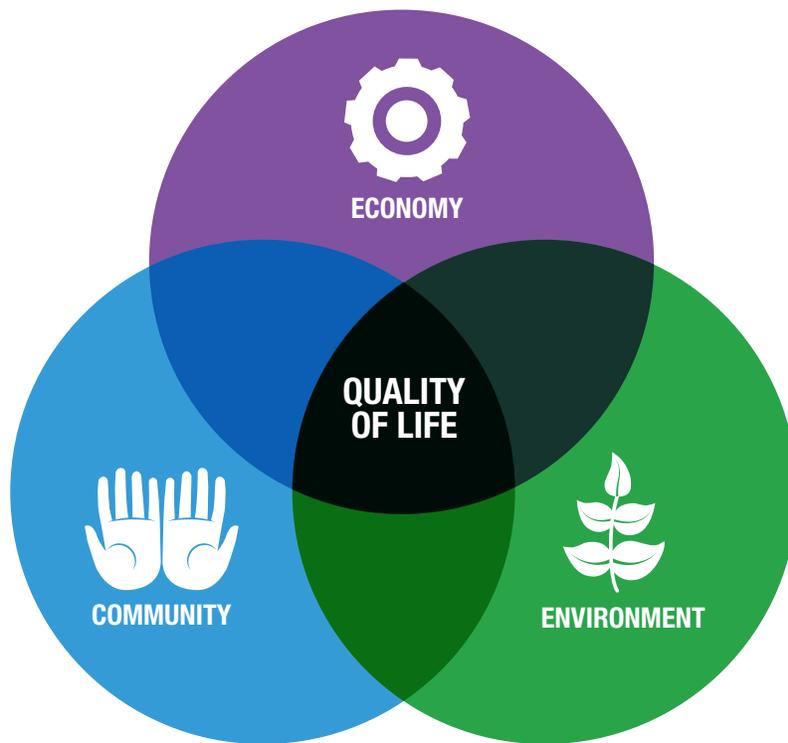
Phoenix McLaughlin

(Commissioner's Designee)
Director of Strategy Implementation,
Maine Department of Economic and Community Development



VISION

A high quality of life
for all Maine people





CITY OF BANGOR

PLANNING DIVISION

COMMUNITY & ECONOMIC DEVELOPMENT

**PLANNING BOARD AGENDA
TUESDAY, MARCH 3, 2026, 7:00 P.M.
COUNCIL CHAMBERS, 1ST FLOOR OF CITY HALL, 73 HARLOW STREET**

- 1. CHAIR INTRODUCTION**
- 2. OLD BUSINESS**
 - A. Meeting Minutes – February 17, 2026**
- 3. NEW BUSINESS**
 - A. Land Development Code Amendments**
 - i. Zone Change – 26 Walter Street – Map-Lot 025-143 – Urban Service District (USD) to Urban Residence 2 District (URD-2) - To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.**
 - B. Land Development Permits**
 - i. Land Development Permit – Major Site Development – 570 Stillwater Avenue – Map-Lot R62-001 - Land Development Permit Application – Major Site Development for proposed demolition of front building and expansion of parking lot located on 570 Stillwater Avenue, Map Lot R62-001, in the Shopping & Personal Service District (S&PS). Applicant/Owner: Bangor Retail Management LLC.**
- 4. OTHER BUSINESS**
 - A. Climate Migration Panel Discussion**
 - B. Announcement of Public Information Session on Upcoming Changes to the Land Development Code to Comply with State Laws**
 - C. Follow-Up/Thoughts on Land Use Plan Updates**
 - D. Adjournment**



CITY OF BANGOR

PLANNING DIVISION

COMMUNITY & ECONOMIC DEVELOPMENT

**PLANNING BOARD AGENDA
TUESDAY, MARCH 3, 2026, 7:00 P.M.
COUNCIL CHAMBERS, 1ST FLOOR OF CITY HALL, 73 HARLOW STREET**

1. CHAIR INTRODUCTION

2. OLD BUSINESS

A. Meeting Minutes – February 17, 2026 – These are in your packets.

3. NEW BUSINESS

A. Land Development Code Amendments

- i. Zone Change – 26 Walter Street – Map-Lot 025-143 – Urban Service District (USD) to Urban Residence 2 District (URD-2)** - To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.
- a) The applicant seeks to amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from the Urban Service District (USD) to Urban Residence 2 District (URD-2). The uses allowed in each of these zones are included in the public notice in your packets.
- b) The land uses around the property consists primarily of a mix of residential and commercial. The zoning around the property consists of Urban Service District (USD), Urban Residence 1 District (URD-1), and Multifamily and Service District (M&SD).
- c) The area is within the growth boundary shown in the 2022 Comprehensive Plan and the future land use map in the Plan shows this property in the Urban Neighborhood area which consists of “medium to high-density residential neighborhoods surrounding the Downtown and encompassing most of the City’s historic residential areas [with] limited commercial and institutional uses that are complementary to the surrounding residential uses”. The Planning Division recommends that the Board find this change to be in alignment with the Comprehensive Plan.

B. Land Development Permits

- i. Land Development Permit – Major Site Development – 570 Stillwater Avenue – Map-Lot R62-001** - Land Development Permit Application – Major Site Development for proposed demolition of front building and expansion of parking lot located on 570 Stillwater Avenue, Map Lot R62-001, in the Shopping & Personal Service District (S&PS). Applicant/Owner: Bangor Retail Management LLC.
- a) The applicant seeks to demolish the front building at 570 Stillwater Avenue and replace it with an expanded parking lot. The change results in a net reduction in impervious surface area.
 - b) There are some materials in your packets that refer to a SLODA modification. These are only included for informational purposes. Staff initially believed this to be part of a SLODA permit, but the original permitted project was never developed and is therefore voided. Therefore, this project does not require a SLODA modification.
 - c) This project falls within the Penjajawoc Overlay Zone and therefore needed to be reviewed by the Penjajawoc Marsh/Mall Management Commission. The Commission made no recommendations on the proposed development and expressed their satisfaction with the proposal.
 - d) Staff comments focused primarily on the requirement for a 20-foot setback and Type E Buffer along Stillwater Avenue where new parking is proposed, the requirement to amend the existing Maine DEP Stormwater Permit for the site, and Bangor Water District’s requirements for the fire and domestic service lines.
 - e) The applicant satisfied the requirements for the parking setback and buffer, as well as the Water District requirements, and have been working with DEP on the stormwater amendment. Staff requests that the Board condition approval of the on receiving approval from Maine DEP for their Stormwater Permit amendment.

4. OTHER BUSINESS

A. Climate Migration Panel Discussion

Planning Analyst Matthew Altiero recently attended a panel discussion on climate migration to Maine – whether it’s actually happening, what the scale of it is, and what the implications are for communities in Maine. Included in your packets are notes that

Matthew took on the discussion, as well as the presentation slides that were shown. This material is included for your informational purposes.

B. Announcement of Public Information Session on Upcoming Changes to the Land Development Code to Comply with State Laws

In order to make the public aware of the upcoming changes that will be made to the City's Land Development Code due to the recent State laws that have been passed, staff plan to hold an informational session for interested members of the public at the March 17th Planning Board meeting. Staff will give an overview of the proposed first round of changes and will answer any questions that are brought up.

C. Follow-Up/Thoughts on Land Use Plan Updates

D. Adjournment



CITY OF BANGOR

PLANNING DIVISION

COMMUNITY & ECONOMIC DEVELOPMENT

**PLANNING BOARD
TUESDAY, FEBRUARY 17, 2026, 7:00 P.M.
COUNCIL CHAMBERS, 1ST FLOOR OF CITY HALL
73 HARLOW STREET**

MEETING MINUTES

Board Members Present:

Chair Jonathan Boucher
Vice Chair Janet Jonas
Ted Brush
Trish Hayes
Greg Hobson
Ken Huhn
Ross Whitford

City Staff Present:

Matt Altiero, Planning Analyst
Anja Collette, Planning Officer
Grace Innis, Assistant Solicitor

Chair Boucher called the meeting to order at 7:00 P.M.

OLD BUSINESS

1. Adoption of Notices of Decision for Map-Lot R10-010-A&B – Odlin Road and 57 Bangor Mall Boulevard

Member Brush moved that the Board adopt the Notices of Decision for Map-Lot R10-010-A&B – Odlin Road and 57 Bangor Mall Boulevard. Seconded by Member Huhn. Roll call vote conducted – all voting members in favor, none opposed. Motion passed.

2. Meeting Minutes – February 3, 2026

Member Huhn moved to approve the minutes of February 3, 2026, seconded by Member Hobson. All voting members in favor, none opposed. Motion passed.

NEW BUSINESS

PUBLIC HEARING - LAND DEVELOPMENT CODE AMENDMENTS

- 3. Zone Change – Ohio Street – Map-Lot R23-003-B – Rural Residence and Agricultural District (RR&A) to Government and Institutional Service District (G&ISD)** – To amend the Land Development Code by changing a parcel of land, located on Ohio Street, Map-Lot R23-003-B, from Rural Residence and Agriculture (RR&A) to Government and Institutional Service District (G&ISD). Said area of land contains approximately 6 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: The Rock Church.

Chair Boucher introduced the agenda item.

Applicant Representative Randy Bragg, Carpenter Associates, presented to the podium and provided an overview of the application.

Chair Boucher asked staff for any comments – there were none.

Chair Boucher asked the Board for any questions or comments – there were none.

Chair Boucher opened the public comments – there were none. Public comments closed.

Member Brush moved that the Board recommend to City Council that the proposal to amend the Land Development Code by changing a parcel of land, located on Ohio Street at Map-Lot R23-003-B, from Rural Residence & Agricultural District (RR&A) to Government & Institutional Service District (G&ISD) ought to pass. Seconded by Vice Chair Jonas. Roll call vote conducted – all in favor, none opposed. Motion passed.

- 4. To Amend the Land Development Code, Section 165-73 Parking Area Location and Screening to Remove the Buffer Requirement for Parking Lots Adjacent to Properties Zoned G&ISD, Except Where the Adjacent Property Contains a Residential, Cemetery, or School Use.**

Chair Boucher introduced the agenda item.

Planning Officer Anja Collette presented to the Board and provided an overview of the proposal.

Chair Boucher asked the Board for any questions or comments – there were none.

Chair Boucher opened the public comments – there were none. Public comments closed.

Vice Chair Jonas moved that the Board recommend to City Council that the proposal to amend the Land Development Code, Section 165-73 Parking Area Location and Screening, by removing the buffer requirement for parking lots adjacent to properties zoned G&ISD, except where the adjacent property contains a residential, cemetery, or school use, ought to pass. Seconded by Member Hayes. Roll call vote conducted – all in favor, none opposed. Motion passed.

5. To Amend the Land Development Code, Section 165-13 Definitions to remove State Street from the Minor Arterial Street Definition.

Chair Boucher introduced the agenda item.

Planning Officer Anja Collette presented to the Board and provided an overview of the proposal.

Chair Boucher asked the Board for any questions or comments – there were none.

Chair Boucher opened the public comments – there were none. Public comments closed.

Member Huhn moved that the Board recommend to City Council that the proposal to amend the Land Development Code, Section 165-13 Definitions, by removing State Street from the Minor Arterial Street definition, ought to pass. Seconded by Member Hobson. Roll call vote conducted – all in favor, none opposed. Motion passed.

OTHER BUSINESS

6. Draft Changes to Comply with New State Laws

Planning Officer Anja Collette presented to the Board and provided an overview of the first round of draft ordinance changes:

A. ADUs (Accessory Dwelling Units)

- i. ADUs now allowed on lots with 1 to 3 dwelling units.
- ii. The minimum square footage has been reduced from 190 to 160 square feet.

B. Additional height allowance and reduced parking requirements for affordable housing

- i. If a development meets the definition of an affordable housing development and is located in an area that allows the density bonus, the maximum height is increased by 14 feet and the minimum parking requirement must be no greater than 2 spaces for every 3 units. The Affordable Housing Density Bonus is allowed in URD-2, M&SD, NSD, USD, HDR, S&PS, and GC&S.

C. Units per lot minimum and minimum lot size in the urban zones

- i. URD-1 (Urban Residence 1 District)
 - a. If a lot is located inside the Growth Boundary and is served by public, special district or other centrally managed water system and sewer system, minimum lot size is 5,000sqft for 4 units, including ADUs. (No more than 4 units allowed)

F. Off-site Parking Agreements

- i. Changing our provision to allow a developer to satisfy parking requirements with a legally binding agreement between the developer and the owner of an off-site parking facility within 0.25 miles of the development site.

Member Huhn asked for clarification regarding dimensional requirements, impervious surface ratio, lot coverage, etc. – Planning Officer Collette responded and clarified.

Chair Boucher asked about the long-term affordability covenant – Planning Officer Collette responded and clarified.

Chair Boucher asked about the new requirements for what developments will and will not come before the Planning Board – Planning Officer Collette responded and clarified.

Planning Officer Collette discussed a proposal regarding creation of a smaller lot size allowance for individual tiny homes with Board members. Board members were amenable to making this change.

Member Brush asked about mixed-use allowances – Planning Officer Collette responded and clarified the allowances for mixed commercial & residential uses.

Chair Boucher asked about public notice requirements for minor site plan revisions – Planning Officer Collette responded that there is none. Collette and Boucher discussed at length.

7. 2026 APA Trend Report

Planning Officer Anja Collette noted that the report was provided in the Board’s meeting packet for their review.

8. Follow-Up/Thoughts on Land Use Plan Updates

Member Huhn asked for some additional clarification regarding parking buffer requirements – Planning Officer Collette responded and clarified.

Meeting adjourned at 7:35 pm.

Respectfully submitted,

Sarah Maquillan,
Development Assistant
Planning Division



CITY OF BANGOR
PLANNING DIVISION

APPLICATION FOR ZONING AND MAP AMENDMENT

Paid 2210.00
via check #1003
on Feb. 10, 2026

Date: Feb. 10, 2026

Date of Required Pre-Application Meeting with Staff: Jan. 14, 2026
(please call (207) 992-4280 to set up an appointment if you have not had a pre-application meeting with staff)

To: The Planning Board & The City Council of the City of Bangor, Maine

1. Applicant Name: [REDACTED]

2. Applicant Address: [REDACTED] City, State, Zip Code [REDACTED]

Telephone Number [REDACTED]

Email Address [REDACTED]

3. PROPERTY ADDRESS and Map & Lot 26 Walter Street | 025 | 143
Address Map Lot

Total Area: 47916 Sq ft (lot)

4. GENERAL PROPERTY LOCATION (Example: South side of State Street 400 yards. East of Pine Street):

5. LEGAL DESCRIPTION OF PROPERTY - Book _____ Page _____

6. EXISTING ZONING DISTRICT: US1

7. PROPOSED ZONING DISTRICT: URD-2

8. NAME AND ADDRESS OF OWNER OF RECORD: _____
Name (if different than applicant)

Address

Telephone Number

Email Address

9. NAME AND ADDRESS OF CONTRACT OWNER: [REDACTED]

Name

Address

Telephone Number

Email Address

10. SIGNATURE OF Applicant: [Signature]

11. REPRESENTATIVE OF APPLICANT: [REDACTED]

Name

Address

12. IS THIS A CONTRACT ZONING CHANGE? IF SO, ATTACH ANY CONDITIONS PROPOSED FOR A CONTRACT ZONE REQUEST.

not a contract zone

13. ATTACH DOCUMENT SUPPORTING ZONING CHANGE AND RELATION TO CITY COMP PLAN.

RETURN FORM & EXHIBIT TO PLANNING DIVISION, CITY HALL, BANGOR, ME.

(PLEASE READ OTHER SIDE FOR FEES AND PROCESSING PROCEDURE)



CITY COUNCIL ACTION

Council Meeting Date: February 23, 2026

Item No:

Responsible Dept: Planning

Action Requested: Ordinance

Map/Lot: 025-143

Title, Ordinance

Amending Chapter 165, Land Development Code, District Map to Re-Zone a Property Located at 26 Walter Street from Urban Service District (USD) to Urban Residence 2 District (URD-2).

Summary

This ordinance would amend the Land Development Code, District Map to re-zone the property at Map-Lot 025-143, located on 26 Walter Street, from Urban Service District (USD) to Urban Residence 2 District (URD-2). The total area requested to be changed is approximately 0.11 acres. The applicant and owner of record is NAHA, LLC.

This area is within the growth boundary shown in the 2022 Comprehensive Plan and the future land use map in the Plan shows this property in the Urban Neighborhood area which consists of "medium to high-density residential neighborhoods surrounding the Downtown and encompassing most of the City's historic residential areas [with] limited commercial and institutional uses that are complementary to the surrounding residential uses".

Committee Action

Committee: Planning Board

Meeting Date: March 3, 2026

Action:

For:

Against:

Staff Comments & Approvals

City Manager

City Solicitor

Finance Director

Introduced for: First Reading and Referral



CITY COUNCIL ORDINANCE

Date: February 23, 2026

Assigned to Councilor:

ORDINANCE, Amending Chapter 165, Land Development Code, District Map to Re-Zone a Property Located at 26 Walter Street from Urban Service District (USD) to Urban Residence 2 District (URD-2).

WHEREAS, the land uses around the property consist primarily of a mix of residential and commercial;

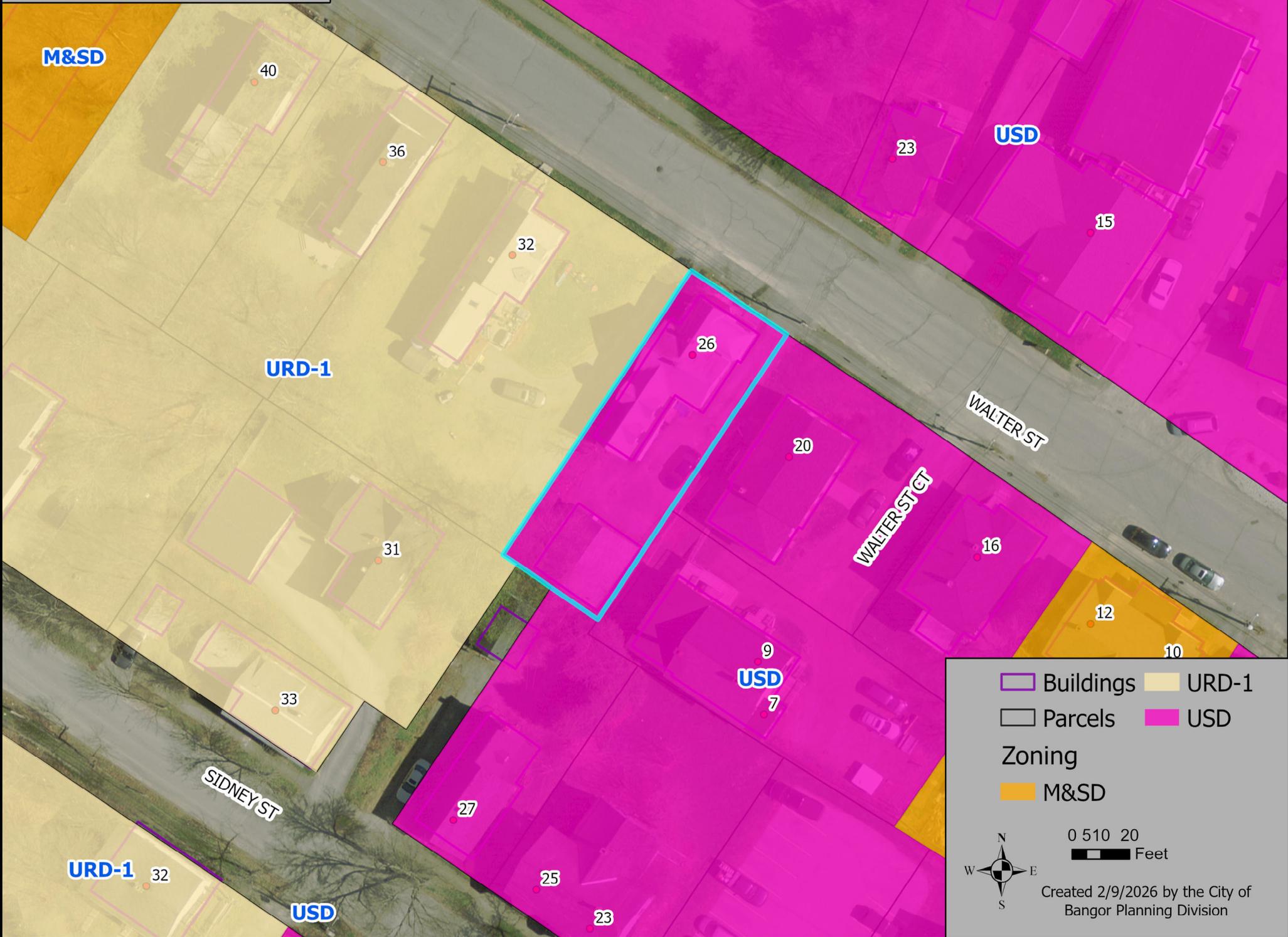
WHEREAS, the zoning around the property consists primarily of Urban Service District (USD), Urban Residence 1 District (URD-1), and Multifamily and Service District (M&SD);

WHEREAS, the 2022 Comprehensive Plan and the future land use map in the Plan shows this property in the Urban Neighborhood area which consists of "medium to high-density residential neighborhoods surrounding the Downtown and encompassing most of the City's historic residential areas [with] limited commercial and institutional uses that are complementary to the surrounding residential uses.";

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BANGOR AS FOLLOWS, THAT

Chapter 165 of the Code of the City of Bangor, District Map, is amended to reclassify the property at Map-Lot 025-143, located at 26 Walter Street, from Urban Service District (USD) to Urban Residence 2 District (URD-2). The total area requested to be changed is approximately 0.11 acres and is shown in the attached exhibit.

Area Map: 26 Walter St



Buildings URD-1

Parcels USD

Zoning

M&SD



0 5 10 20 Feet

Created 2/9/2026 by the City of Bangor Planning Division

NOTES

RECEIPT

DATE 12/30/25 NO. **019025**

RECEIVED FROM [REDACTED]

ADDRESS [REDACTED]

[REDACTED] \$ 2210.00

FOR 26 Walter Street zone change app.

Received
on
Feb. 10,
2026
- 1935.00
for ads
- 275.00
for app

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	
AMT. PAID		CHECK <u>1003</u>	<input checked="" type="checkbox"/>
BALANCE DUE		MONEY ORDER	

BY SM

26 WALTER STREET -- ABUTTERS WITHIN 100FT			
Owner	Owner 2	Owner Address 1	Owner Address 2
LRG Holdings, LLC		PO Box 1541	Bangor, Maine 04402-1541
David W. Foster	Christine Mary Foster	36 Walter Street	Bangor, Maine 04401
Jodi L. MacGregor	Theresa M. Amirault	1477 Union Street	Bangor, Maine 04401
Elaine White		45 Sidney Street	Bangor, Maine 04401
Judith Ann Brosmer		33 Sidney Street	Bangor, Maine 04401
Frank Dinsmore	Janie Dinsmore	363 Fern Street	Bangor, Maine 04401
417, LLC		213 Webster Avenue	Bangor, Maine 04401
Debra L. Bragg		7 Walter Court	Bangor, Maine 04401
5325 Baltimore Avenue, LLC		222 West Rittenhouse Square	Philadelphia, PA 19103
Full Sail Properties LLC		PO Box 206	Ellsworth, Maine 04605-0206
Patricia F. Snow		27 Sidney Street	Bangor, Maine 04401
Penobscot Development Ltd. Liab. Co.	c/o Boulos Asset Management	100 Middle Street, Suite 230, East Tower	Portland, Maine 04101



CITY OF BANGOR
Planning Division

COMMUNITY & ECONOMIC DEVELOPMENT

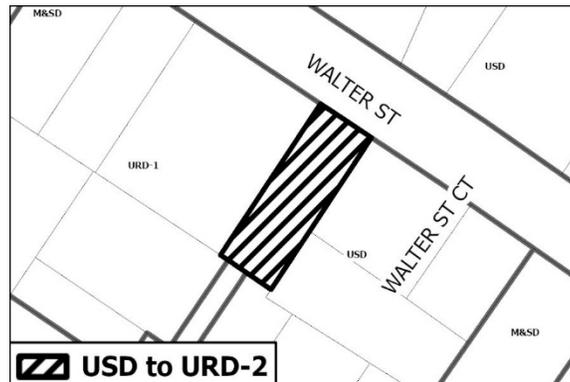
PUBLIC NOTICE

Date: March 3, 2026

Dear Property Owner:

Please be advised that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, beginning at 7:00 p.m. in the Council Chambers on the 1st floor of City Hall (73 Harlow Street) and will consider the following application:

To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.



A copy of the application can be emailed or mailed to any interested party by emailing a request to planning@bangormaine.gov or calling the office at 207.992.4257. Copies of the application can also be picked up at City Hall's office at 73 Harlow Street. To submit comments in writing, please email comments to planning@bangormaine.gov or mail to 73 Harlow Street before 4 PM, March 2nd, 2026. Interested parties can also make an appointment by email or phone to meet with Planning Division staff in person or on Zoom.

The public is welcome to attend the meeting in person or via Zoom. Public comments are allowed over Zoom; however, you must register before 9 AM, March 3rd at <https://bangormaine.gov/504/Meeting-Participation>. Zoom details can be found at the city's website under www.bangormaine.gov/calendar. The Planning Board meeting may be streamed live via the City of Bangor's YouTube page; however, comments are not enabled during streaming. Please call our office if you have questions about the process or participation in the hearing process.

Anja Collette
Planning Officer
City of Bangor



Bangor is rewriting its Land Development Code! For more details and to sign up for updates, visit www.blueprintbangor.com

ZONE CHANGE PROCESS

1. Applicant files zone change request in the Planning Office.
2. The Planning Office places this ordinance amendment request on the next regularly scheduled meeting of the City Council.
3. The City Council refers the proposed zone change to the Planning Board for public hearing.
4. The Planning Board conducts a public hearing.
5. The Planning Board then makes its recommendations to the City Council.
6. After receipt of the Planning Board's recommendation, the City Council votes to either approve or reject the proposed zone change request.

Only the City Council can change zoning, as it is an ordinance amendment.

ABOUT THIS PROPOSED CHANGE

CURRENT PROPERTY ZONE: Urban Service District (USD) - § 165-92

- **Allowed Uses**
 - Any business office or professional office.
 - Motel, hotel or inn.
 - Schools conducted for profit, such as trade, business, dance and music schools.
 - Museum.
 - Day-care center (small or large).
 - Community service organizations.
 - Club or lodge, private.
 - Enclosed recreation centers conducted for profit.
 - Restaurants.
 - Places of worship.
 - Any other retail or service business (except those provided for in Subsection [D](#) below) conducted within a building with no goods or materials displayed or stored outside, except goods or materials displayed for retail sale with an outdoor display area limited to 1% of the gross floor area of the building.
 - Clinic, medical or dental.
 - Bar, tavern or lounge, provided that:
 - Such use must have established hours of operation which specifically define the time during which said use may be allowed to operate. Such hours will be a condition of

approval under this section. In no event shall such hours of operation begin before 7:00 a.m. or end after 1:30 a.m.

- Such use must establish a maximum occupancy which will specifically limit the number of persons allowed within the building at any one time, and such occupancy limit will be a condition to any approval under this section.
- A noise limit will be established such that the maximum of 65 dBA will not be exceeded in any abutting structure, on abutting property or within the public right-of-way or any public area.
- The applicant must demonstrate that sufficient parking of one parking space for each four persons of established maximum occupancy is available during the hours of operation to serve the establishment's patrons. Such parking spaces must:
 - Be located within 500 feet of the building housing the use; and
 - Be under the control of the operator or owner of the establishment (as evidenced in a binding written agreement between the operator and the owner or their agent of the parking premises) and/or must be public parking which is available during the hours of operation as determined by the City of Bangor City Engineer.
- Marijuana store, provided that:
 - The building in which the facility is located must be at least 1,000 feet from, or on the other side of a controlled-access highway from, the real property comprising any public or private elementary or secondary school or school dormitory, juvenile shelter, orphanage, public playground, or public park as defined in § [231-2](#) of this Code.
 - The building in which the facility is located must be at least 300 feet from, or on the other side of a controlled-access highway from, any church, chapel, parish house, other place of worship, day care, or dwelling on a residential parcel, measured by a straight line from building to building.
 - No marijuana cultivation facility, marijuana manufacturing facility, or marijuana testing facility may be accessory to a marijuana store.
 - No drive-in windows are allowed. No curbside or other pickup of marijuana by persons outside the store is allowed.
 - Signage designed to appeal to persons under 21 years of age is prohibited.
- Minor essential service facilities, under the conditions required by § [165-80.3](#).
- Conditional Uses
 - Gasoline service stations, provided that:
 - No gasoline pump shall be located within 100 feet of any existing residential building.
 - Adequate queuing space for at least two vehicles for each gas-dispensing nozzle, without restricting automobile access to and egress from the site, shall be provided.
 - Retail auto service, provided that:
 - Adequate provision is made for automobile queuing at any service bays or service doors which will not restrict vehicular movement onto or off from the site.
 - Additional provision is made for parking of vehicles left for any accessory installations.
 - Drive-in business, except a drive-in movie theater, provided that:

- Adequate queuing space shall be provided for vehicles without restricting vehicular movements on the site at access points to any service road or street, including at least five spaces for each service window or station at a drive-in bank or drive-in restaurant.
 - Additional parking area is provided for vehicles where any product is to be consumed on the premises or where service to vehicles away from drive-up windows or stations is contemplated or possible.
- Animal clinics, provided that:
 - Such activity is conducted in a completely enclosed building.
 - Such building is located not less than 100 feet from any residential district boundary line.
- A mixed residential and commercial use, provided that:
 - The commercial activity is a use permitted in Subsection [C](#) above.
 - In addition to the basic development standards required for the commercial use in this district in Article [XIX](#), additional lot area will be provided commensurate to the requirements for residential units in the URD-2 District.
 - Additional off-street parking will be provided for the residential units in accordance with the off-street parking requirements in Article [X](#).
 - The impervious surface limit for residential uses in the URD-2 District will be met.
- Any retail or service business conducted within a building which, by virtue of the nature of the business or service, shall require an outdoor display area in excess of 1% of the gross floor area of the building, provided that:
 - Goods or materials are not permanently stored outdoors.
 - Such outdoor display is clearly incidental to and subordinate to the activity conducted within the building.
 - Such exterior display area shall not exceed 20% of the gross floor area of the building.
- Major essential service facilities, provided that:
 - Such facilities are not sited so as to create an extreme juxtaposition of architectural scale or style to the detriment of existing buildings on adjacent lots.
 - Such uses must be certified as absolutely necessary in the particular location to service the area and the community.

PROPOSED PROPERTY ZONE: Urban Residence 2 District (URD-2) - § 165-89

• **Allowed Uses**

- One-family, two-family, three-family and four-family detached dwellings.
 - An affordable housing density bonus may be allowed, subject to the requirements of Article XXI.
- Small day-care center.
- Home occupations or professions (subject to the requirements of Article IV).
- Community living arrangements, in accordance with 30-A M.R.S.A. § 4357-A, as may be amended.
- Minor essential service facilities, under the conditions required by § 65-80.3.
- Hosted and non-hosted short-term rentals (subject to licensing requirements in Chapter 254).
- Accessory uses on the same lot and customarily incidental to and subordinate to the above uses or to an approved conditional use under Subsection D below.

- Conditional Uses

- Places of worship and nursing homes meeting the requirements of § 165-9 and Article XIX and located on a major arterial street.
- Boardinghouses that are located on a major arterial street.



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR
Planning Division

	Maximum District Height (Feet)	Minimum Lot Area (Square Feet)	Maximum Lot Coverage	Minimum Lot Width (Feet)	Minimum Front Yard Depth (Feet)	Minimum Side Yard Depth (Feet)	Minimum Rear Yard Depth (Feet)	Maximum Impervious Surface Ratio	Minimum Water Setback (Feet)	Maximum Floor Area Ratio
Urban Service District	35	10,000	40%	80	10	10	10*	None	--	--

* 20ft rear yard setback for properties abutting residential districts

	Maximum District Height (Feet)	Minimum Lot Area (Square Feet)	Maximum Lot Coverage	Minimum Lot Width (Feet)	Minimum Front Yard Depth (Feet)	Minimum Side Yard Depth (Feet)	Minimum Rear Yard Depth (Feet)	Maximum Impervious Surface Ratio	Minimum Water Setback (Feet)	Maximum Floor Area Ratio
Urban Residence 2 District	40	5,000sqft for each dwelling unit up to 4 on an empty lot, up to 2 (additional) if one dwelling unit exists	40%	50	10*	5	15; 5 for accessory structure	0.8	--	--

* Minimum setback for open porches from the front property line is 10ft



COMMUNITY & ECONOMIC DEVELOPMENT

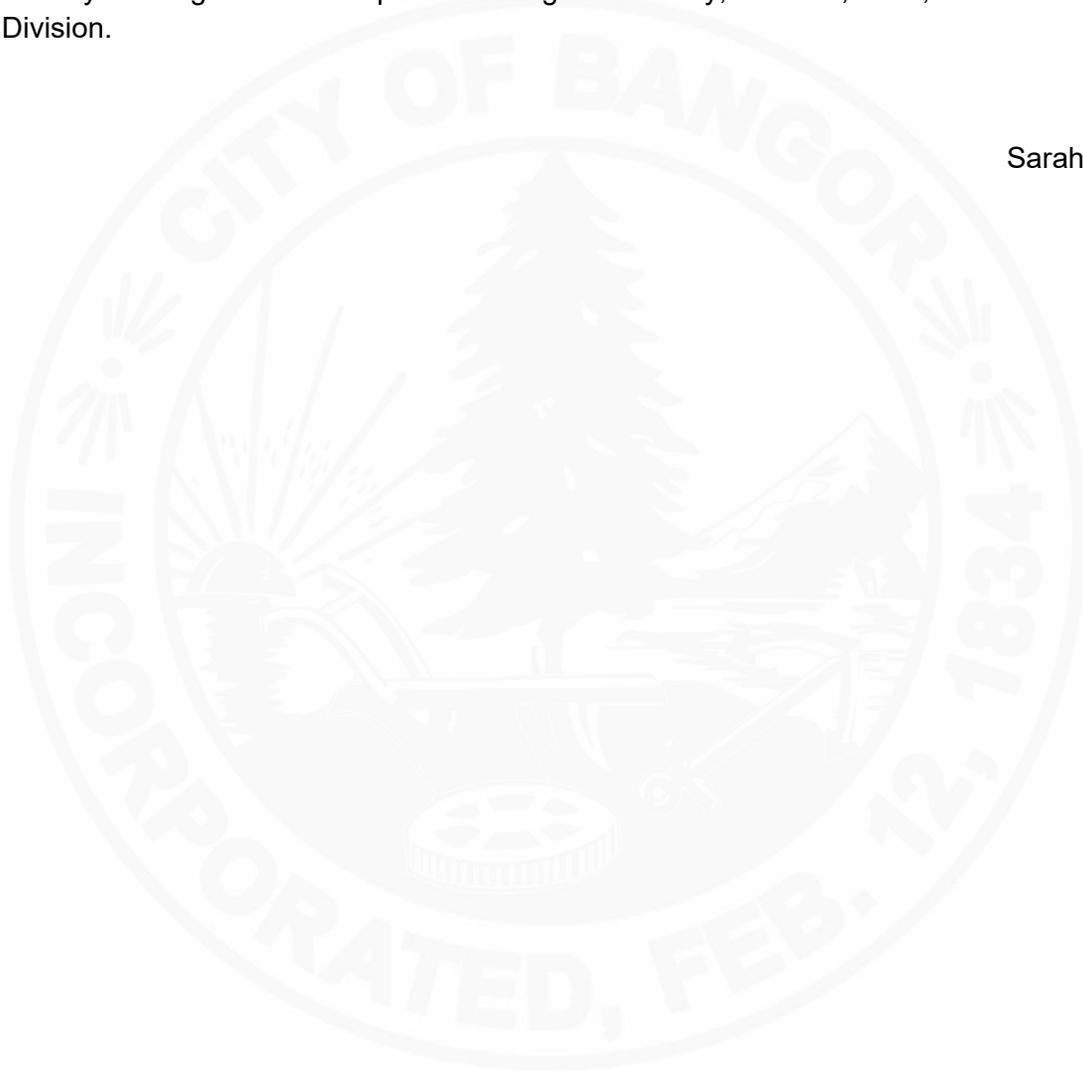
CITY OF BANGOR

PLANNING DIVISION

Re: ZC – 26 Walter Street – NAHA LLC – Notice of Mailing

On February 18, 2026, the Public Notice for 26 Walter Street – NAHA LLC, advising that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, was mailed by the Planning Division.

Sarah Maquillan

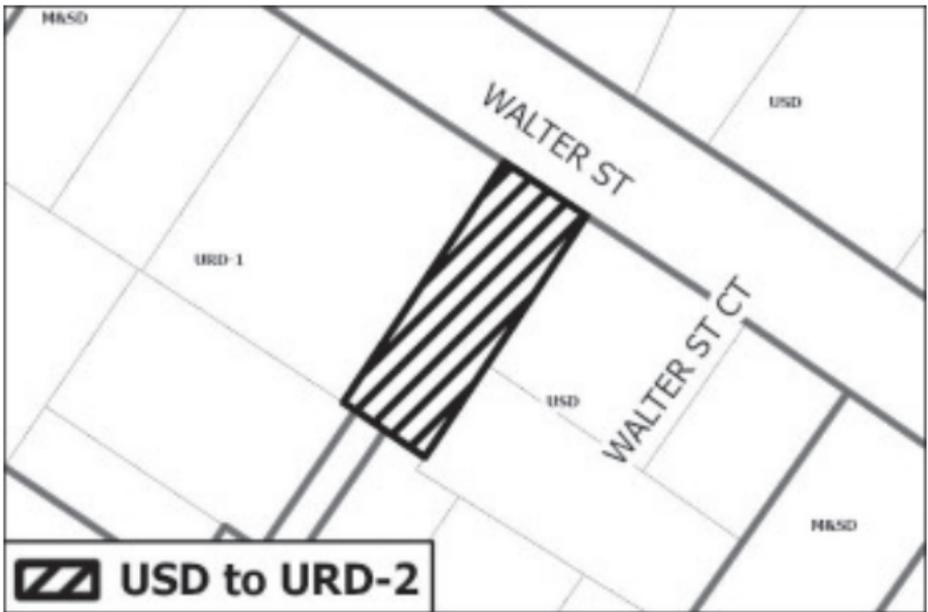




CITY OF BANGOR

Please be advised that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, beginning at 7 p.m. in the Council Chambers on the 1st floor of City Hall (73 Harlow Street) and will consider the following application:

To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.



To receive a copy of the application or submit comments, please call 207.992.4257 or email: planning@bangormaine.gov. Please submit any comments by 4 p.m. on March 2, 2026. Interested parties can also make an appointment by email or phone to meet with Planning Division staff. The public is welcome to attend the meeting in person or via Zoom. Public comments are allowed over Zoom; however, you must register before 9 a.m., March 3rd at:

<https://bangormaine.gov/504/Meeting-Participation>.

Zoom details can be found at the city's website under:

www.bangormaine.gov/calendar.

The meeting may also be streamed live via the [City of Bangor's YouTube page](#); however, comments are not enabled on this page. Please call our office if you have questions about the process or participation in the hearing process.

Anja Collette
Planning Officer



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

PLANNING DIVISION

March 17, 2026

Bangor Planning Board

Findings and Decision

Applicant/Owner:

Bangor Retail Management LLC
[REDACTED]

Agent:

Stonefield Engineering & Design
[REDACTED]

Property Address:

570 Stillwater Avenue, Map-Lot R62-001

Zoning District:

Shopping & Personal Service District (S&PS), Penjajawoc
Marsh Overlay Zone

Permit Request:

Land Development Permit for Major Site Development

Description:

Proposal for demolition of front building and expansion of
parking lot

Public Hearing Date:

March 3, 2026

Permitting Requirements:

§165.111.A.(3)(5)

Board Members Present:

[REDACTED]

Board Vote:

Motion carried [REDACTED] to **approve/deny** the Land Development
Permit.

I. The Record

The Planning Board reviewed the following exhibits:

1. Land Development Permit application, submitted by Stonefield Engineering on
07.23.2025

2. Final site plan set, submitted by Stonefield Engineering on 02.25.2026
3. Proof of payment received by Planning staff on 07.29.2025
4. Cover letter, submitted by Stonefield Engineering on 12.12.2025
5. Financial capacity letter, submitted by Stonefield Engineering on 12.12.2025
6. Land title survey, submitted by Stonefield Engineering on 07.23.2025
7. MDEP Minor Revision application, submitted by Stonefield Engineering on 07.23.2025
8. SLODA Narrative, submitted by Stonefield Engineering on 10.21.2025
9. Stormwater management statement, submitted by Stonefield Engineering on 10.21.2025
10. MDEP Stormwater Permit application, submitted by Stonefield Engineering on 12.12.2025
11. Stormwater operations & maintenance manual, submitted by Stonefield Engineering on 12.12.2025
12. Drainage area maps, submitted by Stonefield Engineering on 02.09.2026
13. Treated area exhibit, submitted by Stonefield Engineering on 02.09.2026
14. Land Development Permit checklist, sent to Stonefield Engineering via email on 07.29.2025
15. Planning comments, received via email on 10.24.2025
16. Engineering comments, received via email on 11.06.2025
17. Exhibit attachment to Engineering comments, received via email on 11.06.2025
18. Bangor Water District comments, received via email on 11.06.2025
19. Email regarding MDOT permitting, received on 12.05.2025
20. Email regarding the E-Buffer from Code, received via email on 12.26.2025
21. Bangor Water District comments, received via email on 02.11.2026
22. Fire Prevention sign-off, received via email on 02.12.2026
23. Engineering sign-off, received via email on 02.12.2026
24. Bangor Water District comments, received via email on 02.20.2026
25. Comment on planting plan, received via email on 02.20.2026
26. Email with DEP on meeting, received via email on 02.10.2026
27. Bangor Water District comments and approval, received via email on 02.25.2026
28. List of abutters within 100ft of the subject property, generated by staff on 02.20.2026
29. Public notice sent to abutters within 100ft of the subject property on 02.20.2026
30. Notice of mailing by Planning Assistant Sarah Maquillan on 02.20.2026

II. Project Description and Permit Requirements

The Project will consist of the demolition of the front building at 570 Stillwater Avenue and replacement with an expanded parking lot. The project will take place on Map-Lot R62-001, which is in the Shopping & Personal Service District (S&PS).

As an expansion of a parking lot containing 20 or more spaces and a use in the Shopping & Personal Service District (S&PS) this project requires Land Development Permit approval. The parking lot is considered an accessory use to permitted uses on the site, which is allowed under §165-101C(22). As a use in the Shopping & Personal Service District, per §165-101B, this project must also meet the requirements of Article II through XII and any applicable development standards of Article XIX of Chapter 165. As a project

in the Penjajawoc Marsh Overlay Zone, it must also meet any applicable requirements of that zone.

III. Procedural Background

1. The Application was deemed complete on March 3, 2026.
2. The Applicant paid all applicable fees (Exhibit 3).
3. The proposed Project is a Major Site Development.

IV. Applicable Provisions and Findings

Part 1 – The Project meets the requirements of Articles II through XII

1. The Board finds that, based on Exhibit 2, the applicant satisfied §165-33.1 of the Land Development Code regarding best management practices of Erosion and Sediment Control.
2. The Board finds that, based on Exhibit 2, the applicant satisfied §165-68 of the Land Development Code regarding minimum lot frontage.
3. The Board finds that, based on Exhibit 2, the applicant satisfied §165-72 of the Land Development Code regarding the required number of parking spaces, §165-73's requirements regarding parking area location and screening, and §165-74's requirements regarding parking area design, construction and maintenance.
4. The Board finds that, based on Exhibits 2, 22, 23, and 27, , the applicant satisfied §165-79 of the Land Development Code regarding providing the necessary utility services required, §165-80's requirements regarding providing adequate water and sewerage services, and 165-83's requirements regarding providing adequate electrical service.
5. The Board finds that, based on Exhibit 2, the applicant satisfied §165-81 of the Land Development Code regarding providing adequate lighting and preventing light pollution and trespass.
6. The Board finds that, based on Exhibits 2 and 22, the applicant satisfied §165-82's requirements regarding having adequate fire protection.
7. The Board finds that, based on Exhibits 2, 4, 7, 9-13, 23, and 26, the applicant satisfied §165-84 of the Land Development Code regarding adequate storm drainage and stormwater offset.

Part 2 – The Project meets the District Site Development Standards under Article XIX

The Board finds that, based on Exhibit 2, the applicant satisfied § 165-135 of the Land Development Code regarding impervious surface ratio and buffer yards.

Part 3 – The Project meets the requirements of § 165-101 – Shopping & Personal Service District (S&PS)

The Board finds that, based on the findings made in Parts 1 and 2 of this document, the Project meets the requirements of § 165-101B for uses within the Shopping & Personal Service District (S&PS).

Part 4 – The Project meets the requirements of §165-114 – Land Development Approval Standards

1. The Board finds that, based on Exhibits 2 and 23, the applicant satisfied Land Development Code §165-114.B's requirement that the proposed parking and loading layout are arranged in a reasonable and safe configuration and §165-114C's requirement that all proposed access drives are reasonably necessary and safe.
2. The Board finds that, based on Exhibits 2, 4, 7, 9-13, 23, and 26, the applicant satisfied Land Development Code §165-114D's requirement that the proposed development will not have unreasonable adverse effects on abutting or downstream properties or protected resources such as wetlands, lakes, streams or brooks, and that all downstream channels or municipal stormwater collection systems have adequate capacity to carry the flow without significant negative effects, with the condition that the Maine Department of Environmental Protection Stormwater Permit amendment is approved..
3. The Board finds that, based on Exhibit 2, the applicant satisfied Land Development Code §165-114E's requirements that all outdoor lighting shall be designed, installed and maintained to avoid unreasonable adverse effects from light pollution.
4. The Board finds that, based on Exhibits 2 and 20, the applicant satisfied Land Development Code §165-114F's requirements for landscaping.

V. Decision

The Board finds that the project meets the requirements for a Land Development Permit for a Major Site Development and therefore, the Board grants the Land Development Permit for the proposed Project, with the condition that the Maine Department of Environmental Protection Stormwater Permit amendment is approved.

VI. General Permit Requirements:

- A. This permit does not relieve the applicant from any other state or federal permits that may be required for the project.
- B. Prior to construction, the applicant should contact the Code Enforcement Office and Engineering Office for any additional permits that may be required.
- C. Applicant must commence construction within one year from the date of approval and complete the project by March 3, 2028, unless extensions of time are granted per the provisions of Chapter 165-113E.
- D. No certificate of occupancy for any structure will be issued by the Code Enforcement Division until the property for which the certificate is sought is in compliance with all applicable regulations, including but not limited to building, zoning, and stormwater requirements. A temporary certificate of occupancy may be issued when necessary under the provisions of § [165-113G of the City's Land Development Code](#).
- E. Upon completion, a digital as-built plan or plans shall be submitted to the Code Enforcement Officer. Additionally, a certificate of compliance stamped by a registered professional engineer or a registered land surveyor must be submitted to the Code Enforcement Office indicating that the site development has been completed in accordance with the approved revised plan.

Failure to comply with the conditions listed above constitutes a violation of the Bangor Land Development Code as prescribed in Chapter 165-10G.

This If you should have any questions or desire further information, please do not hesitate to give the Planning Division a call at 207.992.4280.

Sincerely,

City of Bangor Planning Board

_____	_____
_____	_____
_____	_____
_____	_____

CC: City of Bangor Planning Division
City of Bangor Code Enforcement Division

Building Permit and Certificate of Occupancy Checklist

Before applying for a Building Permit:

- Please contact the Code Enforcement and Engineering Departments for any other permits that may be necessary.
- The stormwater permit amendment with the Maine Department of Environmental Protection must be approved.

Before applying for a Certificate of Occupancy:

- Digital as-built plan or plans shall be submitted to the Code Enforcement Officer. Additionally, a certificate of compliance stamped by a registered professional engineer or a registered land surveyor must be submitted to the Code Enforcement Office indicating that the site development has been completed in accordance with the approved revised plan.

Paid 1960.00
via checks #
2098, 2097, & 2096
on 7-29-2025
-SM

CITY OF BANGOR
LAND DEVELOPMENT PERMIT APPLICATION

Permit No.: _____
Date: _____

Site Development Plan: *Conditional Use: _____ *Both: _____
Subdivision Development: _____ *Preliminary: _____ Final:
*Mobilehome Park: _____

Applicant: Bangor Retail Management LLC Telephone No. [REDACTED]
Address: [REDACTED]

Location of Site: 570 Stillwater Avenue, Bangor, ME Map: R62 Lot: 001

Watershed: Penjajawoc Stream Watershed Total Area Proposed to be Disturbed: 0.38 AC

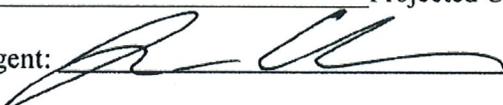
Owner of Site if different from applicant: Bangor Retail Management, LLC Zoning District: S&PS

Address: _____
Description of interest of applicant in site, if not owner (e.g., owner, lease, option, purchase & sales agreement):
Owner If not owner include copy of said agreement

Describe proposed use and indicate floor area (If combination of uses, give floor area devoted to each):
Proposed parking lot expansion, Floor Area: N/A

LID techniques help retain stormwater on site. They include such things as pervious pavement, rain gardens, bioretention cells, and infiltration systems.
Were LID techniques used on this project? No If not, why? Maintaining existing drainage patterns while reducing impervious surface

Projected Starting Date: _____ Projected Completion Date: _____

Signature of applicant(s) or agent: 

Submittal Requirements

Submittal Requirements of development types are described in the Land Development Code for:

- 1. Site Development Plan, Chapter 165, Article XVI, Section 112
- 2. Subdivisions, Chapter 165, Article XVIII, Sections 126 and 128
- 3. Mobilehome Parks, Chapter 165, Article XVIII, Section 19

Processing Fees: \$690 + 535 = 1225 Advertising Fees: \$735

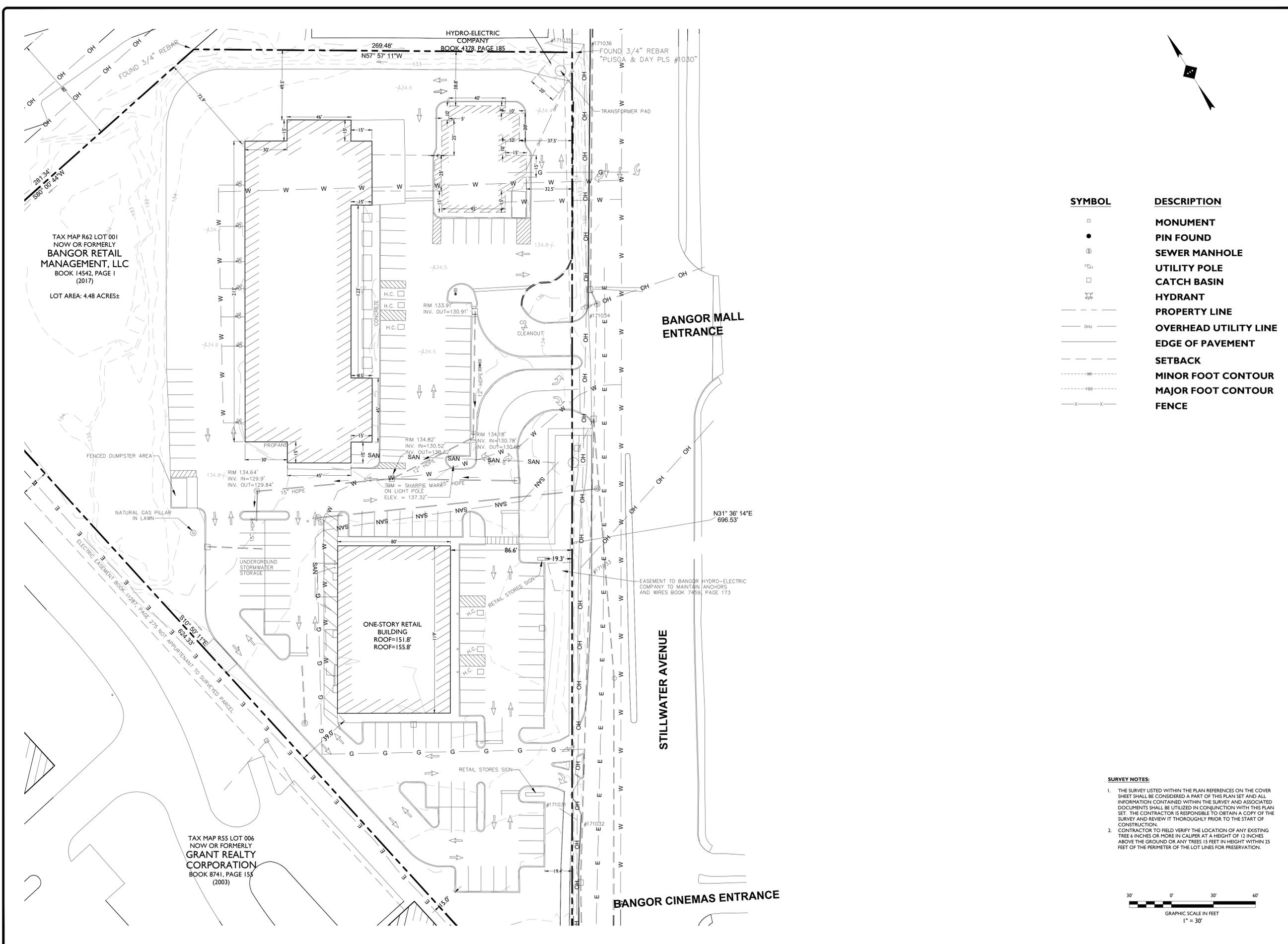
A COMPLETED APPLICATION FORM, PLAN SUBMITTALS, EVIDENCE OF STANDING, PROCESSING AND ADVERTISING FEES ARE ALL REQUIRED IN ORDER TO HAVE A COMPLETE APPLICATION.

Date Received by Planning Division Office: 7-23-2025

Decision and reason of Code Enforcement Office for Conditional Use: _____

Action taken by Planning Board: _____

* Projects requiring a Public Hearing also require Advertising Fees



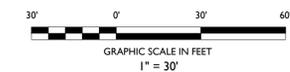
TAX MAP R62 LOT 001
NOW OR FORMERLY
**BANGOR RETAIL
MANAGEMENT, LLC**
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
NOW OR FORMERLY
**GRANT REALTY
CORPORATION**
BOOK 8741, PAGE 155
(2003)

SYMBOL	DESCRIPTION
□	MONUMENT
●	PIN FOUND
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊗	CATCH BASIN
⊘	HYDRANT
---	PROPERTY LINE
—OH—	OVERHEAD UTILITY LINE
---	EDGE OF PAVEMENT
---	SETBACK
---	MINOR FOOT CONTOUR
---	MAJOR FOOT CONTOUR
-X-X-	FENCE

SURVEY NOTES:

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY THE LOCATION OF ANY EXISTING TREE 6 INCHES OR MORE IN CALIPER AT A HEIGHT OF 12 INCHES ABOVE THE GROUND OR ANY TREES 15 FEET IN HEIGHT WITHIN 25 FEET OF THE PERIMETER OF THE LOT LINES FOR PRESERVATION.



ISSUE	DATE	BY	DESCRIPTION
05			
04	02/18/2024	AB	FOR MUNICIPAL RESUBMISSION
03	01/30/2024	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2023	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2023	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2023	AB	FOR MUNICIPAL RESUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE



JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

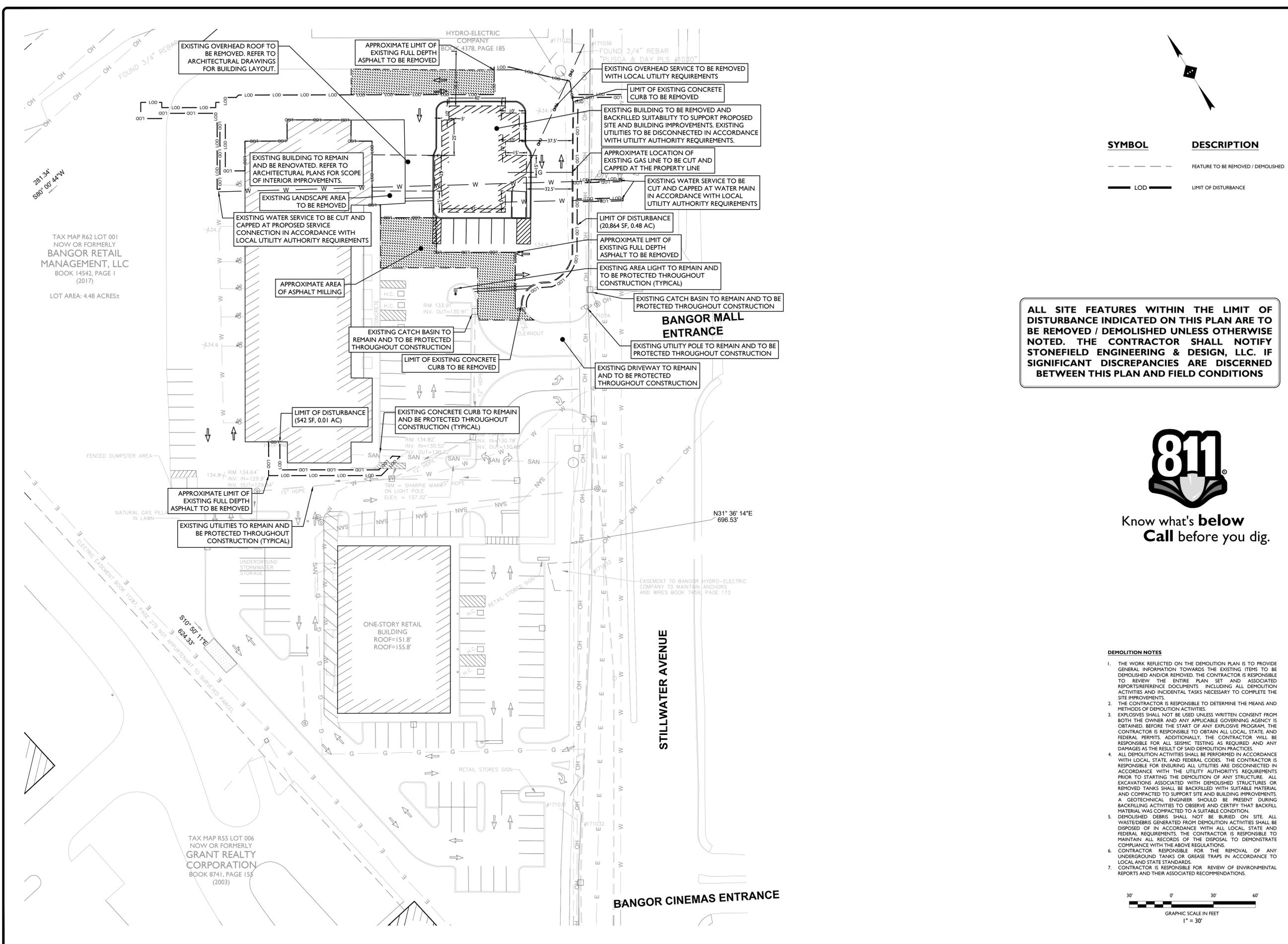
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
**EXISTING CONDITIONS
PLAN**

DRAWING:
C-2

Z:\PROJECTS\2022\220049\AUG - STILLWATER, BANGOR, ME\CD\DWG\EXIST.DWG



TAX MAP R62 LOT 001
 NOW OR FORMERLY
**BANGOR RETAIL
 MANAGEMENT, LLC**
 BOOK 14542, PAGE 1
 (2017)
 LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
 NOW OR FORMERLY
**GRANT REALTY
 CORPORATION**
 BOOK 8741, PAGE 155
 (2003)

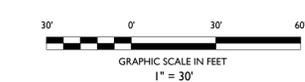
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
 Call before you dig.

- DEMOLITION NOTES**
- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 - EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 - ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 - DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
 - CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF ANY UNDERGROUND TANKS OR GREASE TRAPS IN ACCORDANCE TO LOCAL AND STATE STANDARDS.
 - CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ENVIRONMENTAL REPORTS AND THEIR ASSOCIATED RECOMMENDATIONS.



ISSUE	DATE	BY	DESCRIPTION
05	02/24/2024	GHC	FOR MUNICIPAL RESUBMISSION
04	02/18/2024	AB	FOR MUNICIPAL RESUBMISSION
03	01/30/2024	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2023	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2023	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2023	AB	FOR MUNICIPAL RESUBMISSION

STONEFIELD
 engineering & design

Rutherford, NJ • New York, NY • Salem, MA
 Princeton, NJ • Tampa, FL • Birmingham, MI
 www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
 Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
 PROPOSED PARKING LOT
 EXPANSION**

MAP R62, LOT 001
 570 STILLWATER AVENUE
 CITY OF BANGOR
 PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
 MAINE LICENSE No. 16648
 LICENSED PROFESSIONAL ENGINEER

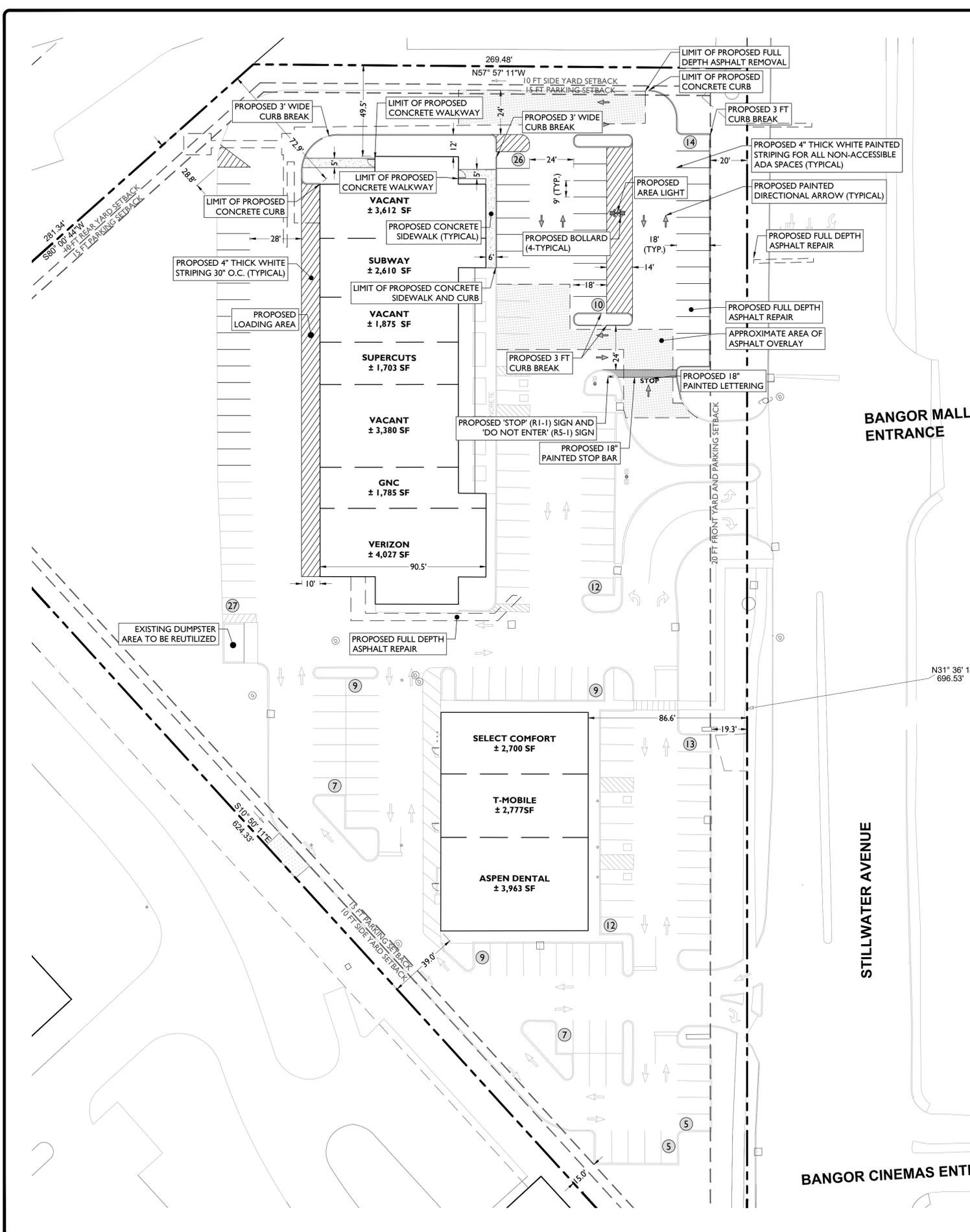
STONEFIELD
 engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
DEMOLITION PLAN

DRAWING:
C-3

2480701480202022022020R1.AJG - 101 STILLWATER BANGOR, ME CAD/DTI/OT/HP/03/2024/03/2024



LAND USE AND ZONING				
MAP R62, LOT 001				
SHOPPING AND PERSONAL SERVICE (S&PS)				
PENJAWOC MARSH OVERLAY ZONE				
PROPOSED USE NO CHANGE IN PROPOSED USE				
ZONING REQUIREMENT	REQUIRED	EXISTING	PREVIOUSLY APPROVED (2017)	PROPOSED
MINIMUM LOT AREA	10,000 SF (0.45 AC)	195,280 SF (4.48 AC)	195,280 SF (4.48 AC)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	698.3 FT	698.3 FT	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE RATIO	0.70 (136,696 SF)	0.67 (131,158 SF)	0.63 (122,606 SF)	0.65 (126,392 SF)
MAXIMUM LOT COVERAGE	25.0% (48,820 SF)	16.6% (32,439 SF)	20.0% (39,060 SF)	14.6% (28,432 SF)
MAXIMUM BUILDING HEIGHT	40 FT	< 40 FT	< 40 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	20 FT	32.5 FT	87.0 FT	86.6 FT
MINIMUM SIDE YARD SETBACK	10 FT	38.8 FT	39.3 FT	39.0 FT
MINIMUM REAR YARD SETBACK	10 FT	72.9 FT	72.9 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.6	0.20 (39,060 SF)	0.20 (39,060)	0.15 (28,432 SF)
MINIMUM PARKING SETBACK (STREET LINE)	20 FT	19.3 FT	20 FT	19.3 FT
MINIMUM REAR LOT SETBACK (SIDE & REAR LOT LINE)	15 FT	15 FT	15 FT	15 FT

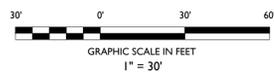
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-72.5	ADA PARKING: TOTAL PARKING SPACES: 165 SPACES REQUIRED MINIMUM OF HANDICAPPED ACCESSIBLE SPACES: 6 SPACES	6 SPACES
§ 165-73.D.2	BUFFER REQUIREMENTS: ALL PARKING LOTS FRONTING ON A PUBLIC STREET OR PRIVATE WAY SHALL HAVE AN E BUFFER YARD ALONG THE STREET RIGHT-OF-WAY E BUFFER: EQUAL TO SETBACK REQUIREMENT MINIMUM BUFFER: 20 FT	20 FT
§ 165-74.A	PARKING SPACE SIZE: 90° PARKING: 9 FT X 18 FT W/ 24 FT AISLES LANDSCAPING ISLANDS: MINIMUM WIDTH BETWEEN ROWS: 5 FT MINIMUM WIDTH AT END OF ROWS: 4 FT	9 FT X 18 FT W/ 24 FT AISLES
§ 165-74.B	LOADING SPACE: SERVICE: 1 SPACE FOR 1,000 SF TO 25,000 SF 1 SPACE REQUIRED	DESIGNATED LOADING AREA PROVIDED
§ 165-76	DIMENSIONS: LESS THAN 10,000 SF OF GFA MINIMUM LENGTH: 25 FT MINIMUM WIDTH: 10 FT MINIMUM CLEARANCE: 10 FT	COMPLIES

TOTAL OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED (*)	PROPOSED (**)
§ 165-72	FURNITURE STORE: FIRST 2,000 SF - 1 SPACE PER 300 SF (2,000 SF) / (300 SF) = 7 SPACES 2,000 SF AND UP - 1 SPACE PER 600 SF (700 SF) / (1,600 SF) = 2 SPACES	
	DENTAL OFFICE: 1 SPACE PER 200 SF OF FLOOR AREA (3,963 SF) / (200 SF) = 20 SPACES	
	RETAIL STORE & SERVICE BUSINESS: 1 SPACE PER 300 SF OF FLOOR AREA (10,292 SF) / (1,300 SF) = 35 SPACES	
	DRIVE-IN BUSINESS SERVING FOOD: 1 SPACE PER 200 SF OF SEATING AREA (2,610 SF) * (1/200 SF) = 14 SPACES	
	VACANT: 1 SPACE PER 200 SF OF FLOOR AREA (8,867 SF) / (200 SF) = 45 SPACES	
	TOTAL SPACES REQUIRED: 9 + 20 + 35 + 14 + 45 = 123 SPACES	165 SPACES

(*) REQUIRED NUMBER OF SPACES FOR THE VACANT BUILDING AREA WERE CALCULATED USING GENERAL RESTAURANT REQUIREMENTS
 (**) PROPOSED NUMBERS WERE CALCULATED FROM AN ACCUMULATION OF THE EXISTING AND PROPOSED SITE DESIGN.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED CONCRETE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		DESCRIPTION	
02/24/2024	GHC	02/18/2024	AB	01/29/2025	AB	12/01/2025	GHC	10/06/2025	AB	07/18/2025	AB
05		04		03		02		01		00	
											ISSUE
											DATE
											BY

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddeng.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE: **SITE PLAN**

DRAWING: **C-4**

2407010002022022009 AUG - 10:51 STILLWATER, BANGOR, ME CAD: JKH/DTM/HP/44/TEL/DWG

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-81 B	ALL DEVELOPMENT REQUIRING LAND DEVELOPMENT APPROVAL SHALL BE PROVIDED WITH ADEQUATE OUTSIDE LIGHTING TO ENSURE A SAFE ENVIRONMENT. NO UNDESIRABLE ILLUMINATION OR GLARE WILL BE PRODUCED ON ADJACENT STREETS OR LOTS OCCUPIED BY RESIDENTIAL, INSTITUTIONAL OR PUBLIC USES	COMPLIES
§ 165-81 C.2.A	NO LUMINAIRE SHALL PRODUCE A STRAY, LIGHT OR REFLECTION ONTO NEIGHBORING RESIDENTIAL PROPERTIES, OR ONTO ANY PUBLIC ROAD	COMPLIES
§ 165-81 C.2.B	LUMINAIRES SHALL BE SHIELDED OR HOODED SO THAT THE LIGHTING ELEMENTS ARE NOT EXPOSED. NO LUMINAIRE SHALL EMIT ANY DIRECT LIGHT ABOVE ITS HORIZONTAL PLANE	COMPLIES
§ 165-81 C.2.C	NO FLOOD OR SPOT LUMINAIRE SHALL BE AIMED, DIRECTED OR FOCUSED TOWARD ANY ADJACENT OR NEARBY RESIDENTIAL PARCEL	COMPLIES
§ 165-81 C.2.F	MAXIMUM POLE HEIGHT: 25 FT	20 FT

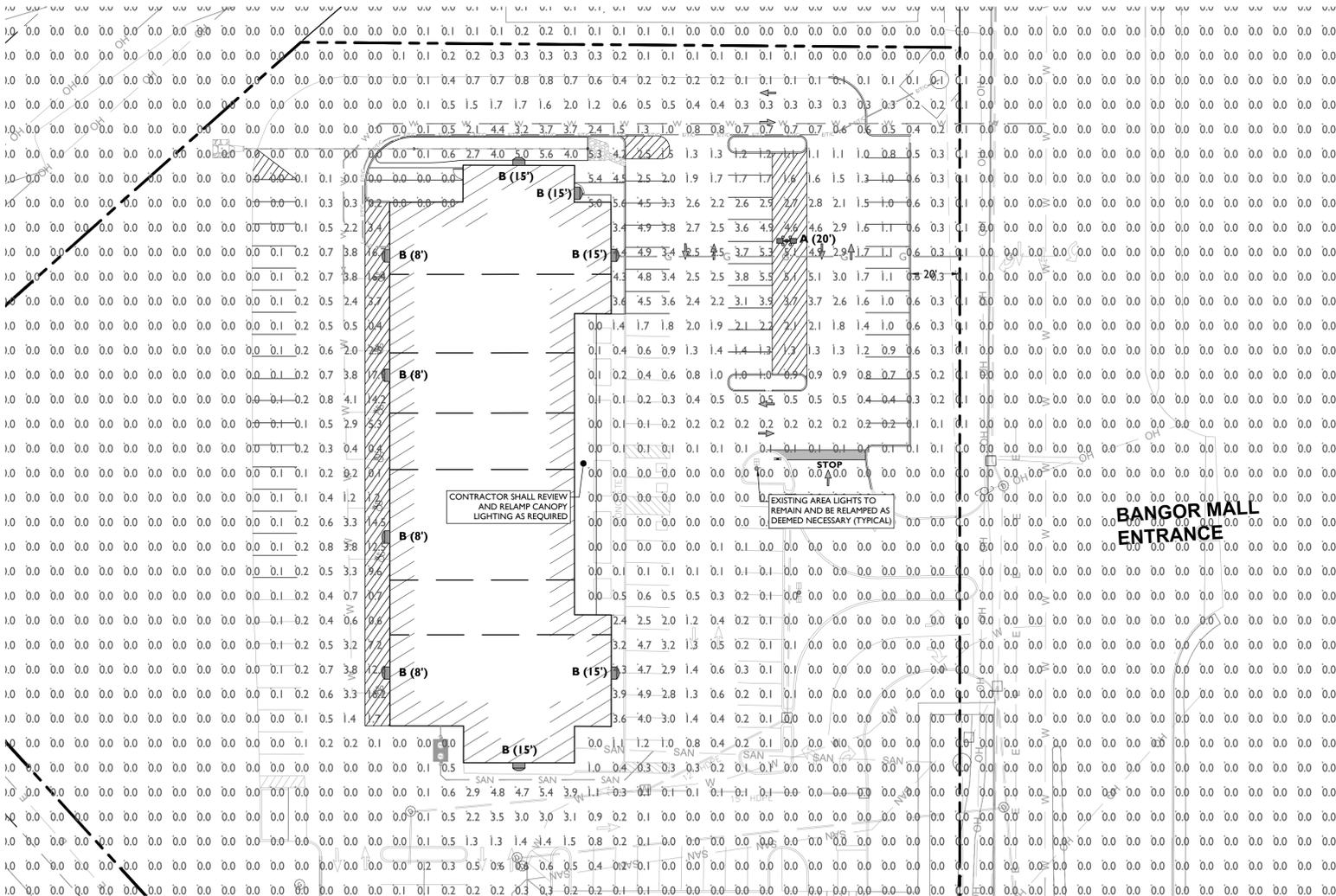
PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	SLICE MEDIUM OUTDOOR LED AREA LIGHT	TYPE V	0.9	LSI LIGHTING	SLM-LED-12L-SIL-SW-30-70CRI.IES
	B	9	EDGE SERIES - OUTDOOR LED WALLPACK	TYPE V	0.9	CREE LIGHTING	ARE-EDG-4M-XX-06-E-UL-XX-525-XXXX-40K.IES



SLICE MEDIUM OUTDOOR LED LIGHT (FIXTURE 'A')



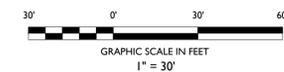
EDGE SERIES OUTDOOR LED WALLPACK (FIXTURE 'B')



SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



DATE	BY	ISSUE	DESCRIPTION
07/18/2024	AB	00	FOR MUNICIPAL RESUBMISSION
02/18/2024	AB	01	FOR MUNICIPAL RESUBMISSION
01/30/2024	AB	02	FOR MUNICIPAL RESUBMISSION
12/01/2023	GHC	03	FOR MUNICIPAL RESUBMISSION
10/06/2023	AB	04	FOR MUNICIPAL RESUBMISSION
07/18/2023	AB	05	FOR MUNICIPAL RESUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

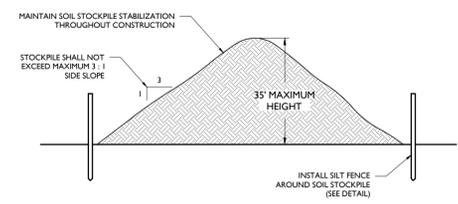
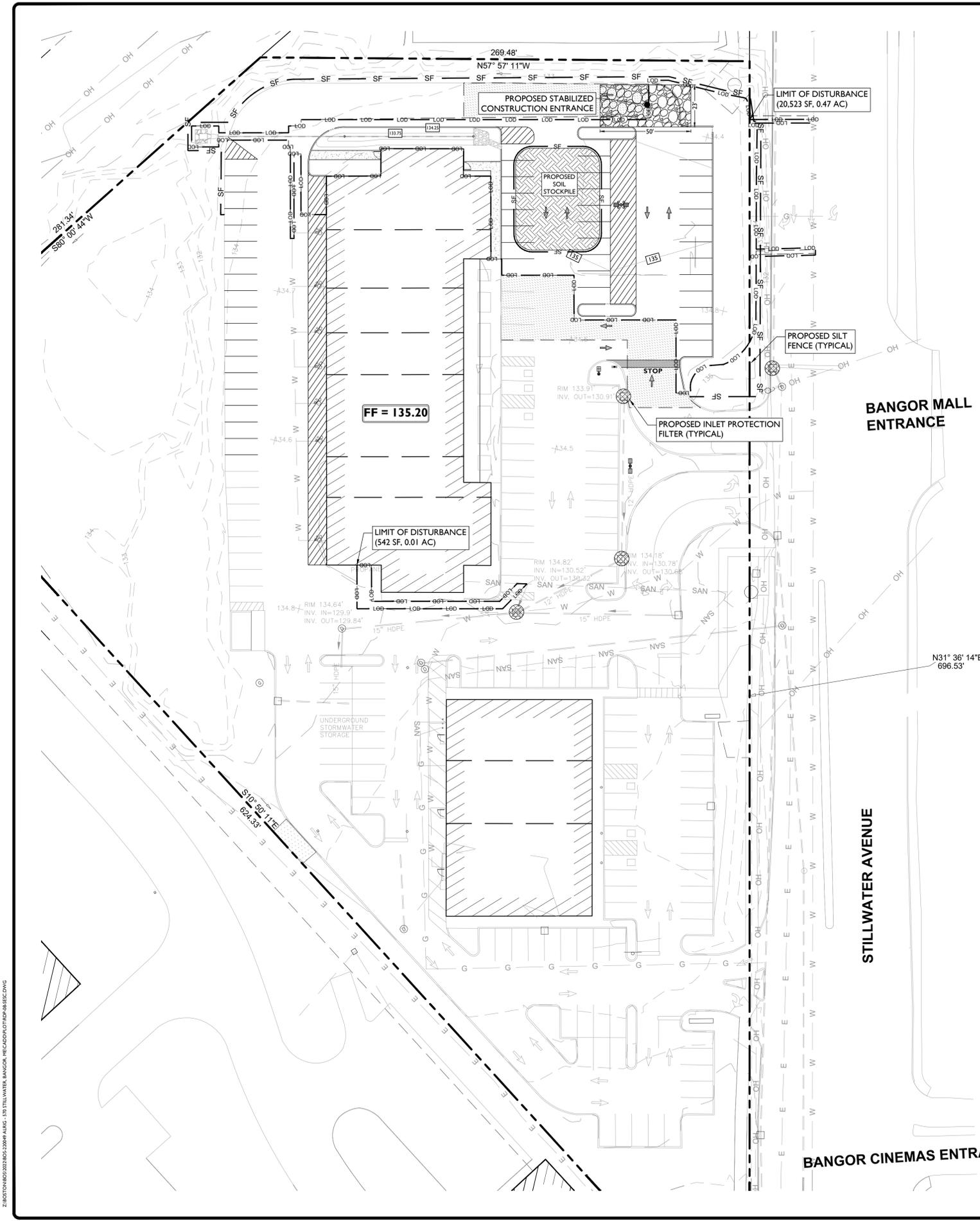
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

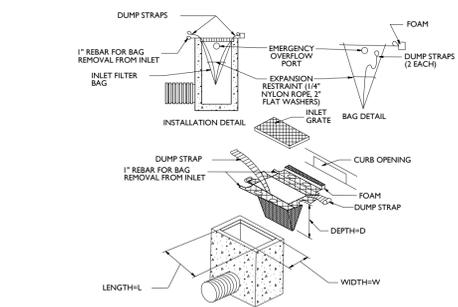
TITLE:
LIGHTING PLAN

DRAWING:
C-7

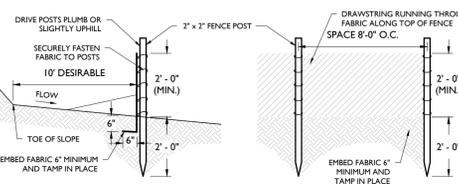


NOTES:
 1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

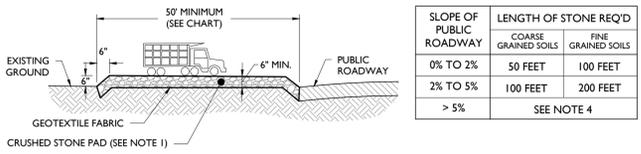


INLET FILTER BAG DETAIL

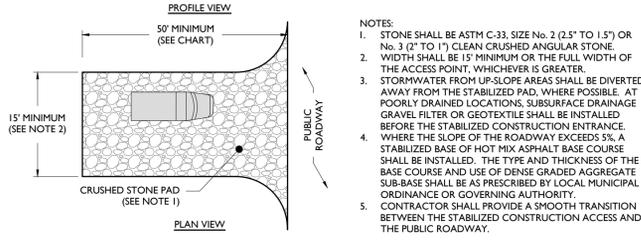


NOTES:
 1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 4" (MIN.) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPACING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10' IS DESIRABLE.

SILT FENCE DETAIL



SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	



NOTES:
 1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

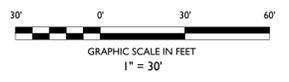
NOT TO SCALE

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
[Pattern]	PROPOSED STOCKPILE & EQUIPMENT STORAGE
[Pattern]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Pattern]	PROPOSED INLET PROTECTION FILTER
[Pattern]	PROPOSED GEOTEXTILE FILTER FABRIC

SOIL EROSION AND SEDIMENT CONTROL NOTES
 1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



Know what's below
Call before you dig.



FOR MUNICIPAL RESUBMISSION	DATE	BY	DESCRIPTION
05	07/24/2024	GHC	FOR MUNICIPAL RESUBMISSION
04	02/18/2024	AB	FOR MUNICIPAL RESUBMISSION
03	01/30/2024	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2023	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2023	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2023	AB	FOR MUNICIPAL RESUBMISSION



Rutherford, NJ • New York, NY • Salem, MA
 Princeton, NJ • Tampa, FL • Birmingham, MI
 www.stonefielddeng.com

120 Washington Street, Suite 201, Salem, MA 01970
 Phone 617.203.2076

SITE PLAN SET
THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP 842, LOT 001
 570 STILLWATER AVENUE
 CITY OF BANGOR
 PENOBSCOT COUNTY, MAINE



JOSHUA H. KLINE, P.E.
 MAINE LICENSE No. 16648
 LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

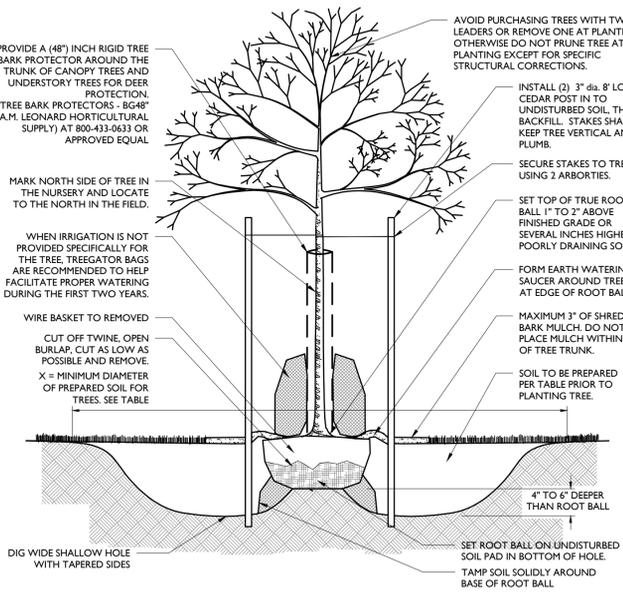
DRAWING:

C-8

Z:\07\14\03\2023\220049\AUG - 15\STILLWATER_BANGOR_HICAD\07\14\03\220049\811.DWG

NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

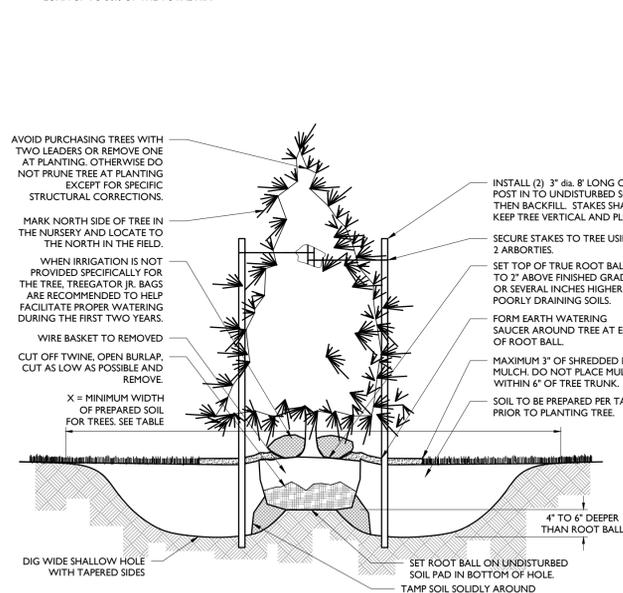


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

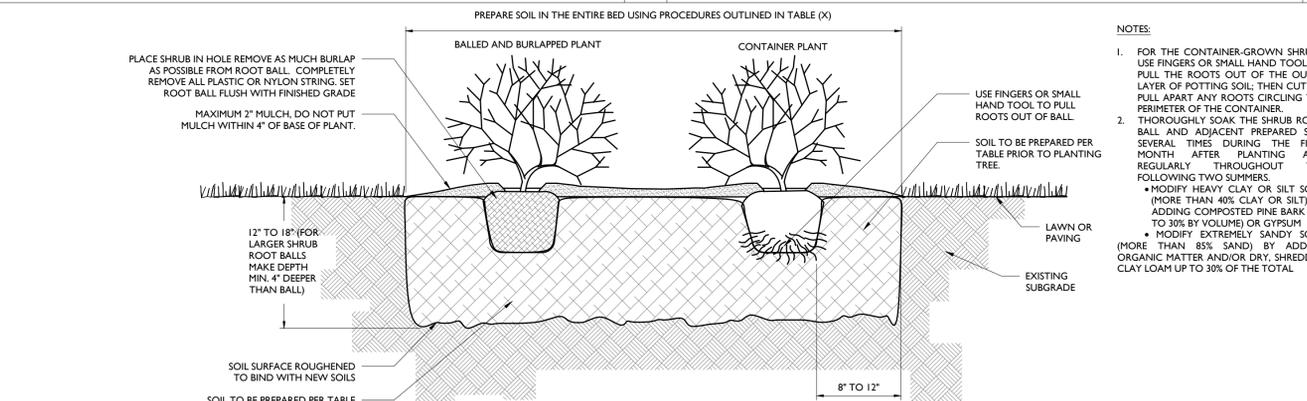
NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

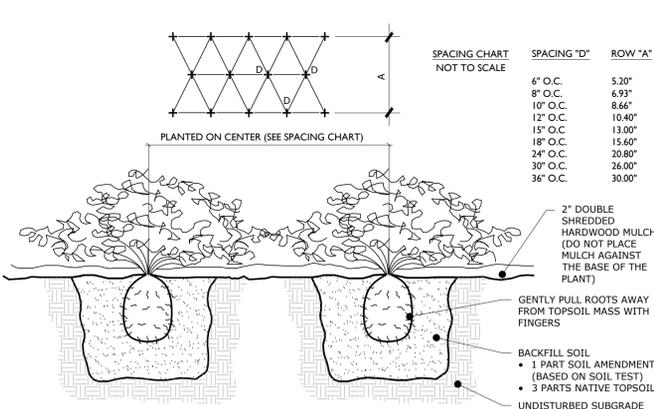


DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

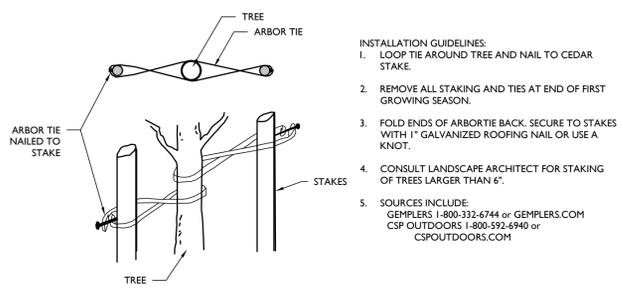
NOTES:

- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



ARBORTIE DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

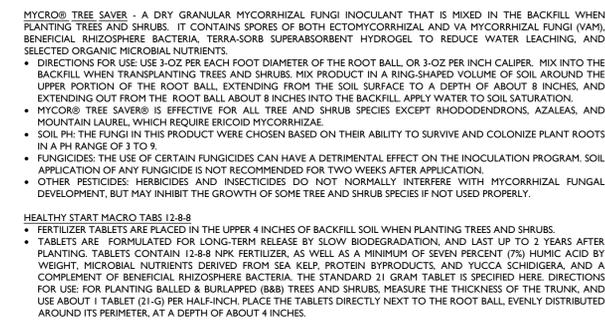
- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- NEVER OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIAL TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE Drip-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE PROTECTION DETAILS. NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN AREAS WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE Drip-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") FROM APPROXIMATELY TWO INCHES (2") ABOVE THE FINISHED GRADE AT TREE TRUNK. GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WALL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SOIL SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A VULCANIZED AREA, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, PEBBLES, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENEED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENEED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL TO A DEPTH OF 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCRO® TREE SAVERS IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.



IRRIGATION DURING ESTABLISHMENT

SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4"-6" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

- TABLE NOTES:**
- AT EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL, DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
 - WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER, NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
 - WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS SHALL BE WELL WRAPPED WITH BURLAP (88) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- ALL PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING SPECIFICATIONS.

- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED COMPOST. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HELED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
- NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENLARGE PLANTING HOLES TO AVOID OBSTRUCTION.
- IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 - THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BUEGERIANUM
 - ACER BURSEKIANUM
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERCIDIPHYLLUM VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - NYSSA SYLVATICA
 - Ostrya virginiana
 - Pinus nigra
 - Platanus varieties
 - Populus varieties
 - Prunus varieties
 - Pyrus varieties
 - Quercus varieties (NOT Q. PALUSTRIS)
 - Salix weeping varieties
 - Sorbus varieties
 - Taxodium varieties
 - Taxus canadensis
 - Tilia tomentosa varieties
 - Ulmus parvifolia varieties
 - Zelkova varieties
- IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION ON THE FALL DIGGING HAZARD LIST. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYNS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH, WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DIRECTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITH THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT ALL LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

DATE	ISSUE	BY	DESCRIPTION
05/27/2024	GHC FOR MUNICIPAL RESUBMISSION		
04/01/2024	AB FOR MUNICIPAL RESUBMISSION		
03/01/2024	AB FOR MUNICIPAL RESUBMISSION		
02/12/2024	GHC FOR MUNICIPAL RESUBMISSION		
01/10/2024	AB FOR MUNICIPAL RESUBMISSION		
07/18/2023	AB FOR MUNICIPAL RESUBMISSION		

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R42, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

STONEFIELD
engineering & design

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: BOS-220049

TITLE: LANDSCAPING DETAILS

DRAWING: C-10

Bangor Retail Management LLC

Flagstar Bank

2098

07/10/2025

PAY TO THE ORDER OF City Of Bangor

\$735.00*****

**** SEVEN HUNDRED THIRTY FIVE AND 00/100 DOLLARS

City Of Bangor
73 Harlow Street
Bangor, ME 04401



[Handwritten Signature]

Authorized Signature

DATE:07/10/2025 CK#:2098 TOTAL:\$735.00***** BANK:Bangor Retail - Flagstar(fgbangor)
PAYEE:City Of Bangor(ban10)

Property Account	Invoice - Date	Description	Amount
bangor 7102-6000	SLODA Ad Fee - 07/01/20	SLODA advertisement fee	735.00
			<u>735.00</u>

Bangor Retail Management LLC

Flagstar Bank

2096

07/10/2025

PAY TO THE ORDER OF City Of Bangor

\$690.00*****

**** SIX HUNDRED NINETY AND 00/100 DOLLARS

City Of Bangor
73 Harlow Street
Bangor, ME 04401



Authorized Signature

DATE:07/10/2025 CK#:2096 TOTAL:\$690.00***** BANK:Bangor Retail - Flagstar(fgbangor)
PAYEE:City Of Bangor(ban10)

Property Account	Invoice - Date	Description	Amount
bangor 7102-6000	Land Dev App Fee - 07/0	Land development application fee	690.00
			<u>690.00</u>

Bangor Retail Management LLC

Flagstar Bank

2097

07/10/2025

PAY TO THE ORDER OF City Of Bangor

\$535.00*****

**** FIVE HUNDRED THIRTY FIVE AND 00/100 DOLLARS

City Of Bangor
73 Harlow Street
Bangor, ME 04401



[Handwritten Signature]

Authorized Signature

DATE:07/10/2025 CK#:2097 TOTAL:\$535.00***** BANK:Bangor Retail - Flagstar(fgbangor)
PAYEE:City Of Bangor(ban10)

Property	Account	Invoice - Date	Description	Amount
bangor	7102-6000	SLODA Mod Permit App -	SLODA modification permit applicatio	535.00
				<u>535.00</u>

STONEFIELD

December 12, 2025

Anja Collette
Community & Economic Development
Planning Department
73 Harlow Street
Bangor, ME 04401

**RE: Alrig USA
Proposed Multi-Tenant Development
570 Stillwater Avenue
City of Bangor, Penobscot County, Maine**

Anja:

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the Board's Resolution including comments contained within the latest Board Professional's review letters. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Plans	12-05-2025	5	Stonefield Engineering & Design
Stormwater O&M Manual	12-05-2025	5	Stonefield Engineering & Design
Financial Capacity Letter	08-10-2018	5	Alrig USA Development
MaineDEP Stormwater Application	12-12-2025	5	Stonefield Engineering & Design

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Joshua Kline, PE
Stonefield Engineering and Design, LLC



Giovanni Cesar
Stonefield Engineering and Design, LLC

Via FedEx

Z:\Boston\BOS\2022\BOS-220049 Alrig - 570 Stillwater, Bangor, ME\Correspondence\Outgoing\Municipal\2025-12-12_Municipal Response Letter.docx

The following is an itemized response to the comments contained within the **Planning Staff Comments** dated **October 24, 2025**. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

- *As Red maple isn't very salt tolerant. For survivability purposes, some recommended alternative trees are shown below:*

The Landscaping Plan (Sheet C-9) has been revised to propose the recommended Shademaster Honey Locust, instead of the Red Maple.

- *The response to comments regarding the traffic movement permit says the Massachusetts Department of Transportation. Is this a typo?*

Confirming that the comments regarding the Traffic Movement Permit should be for the Maine Department of Transportation.

- *Please provide specific documentation for financial capacity*

The Applicant has provided a letter denoting that the project will be privately funded and has adequate capacity for the proposed improvements.

- *The landscape plan states that 31 spaces are in the proposed new parking area, but I'm counting 32. Additionally, when the planting ratios result in fractional numbers (3.2 in this case), the Code requires us to round up. This would result in 1 additional tree and shrub planting (3.2 trees rounds up to 4 total, and 12.8 shrubs rounds up to 13).*

The Landscaping Plan (Sheet C-9) has been revised to provide the required tree and shrub count as noted above.

The following is an itemized response to the comments contained within the **Engineering Comments** dated **November 6, 2025**. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

- *As noted in our first set of comments their previous site plan approval was subject to a MDEP Stormwater Permit. With the additional modifications to the site, they also need to modify their existing stormwater permit for the site with the Maine DEP. The applicant responded by sending us a SLODA narrative, and also stating that their improvements were up to Maine DEP stormwater standards. Their site is proposed to be less than 3 acres of impervious surface, and therefore does not meet SLODA permitting thresholds. I believe their previous approvals were also for less than 3 acres, though their submittal states they are over 3 acres. I want to make sure the applicant understands that the stormwater permitting process, including modifications, is through the Maine DEP, not the City of Bangor. I have no issues with the site plan. I would like to make sure they understand who the permitting authority is for this application.*

The Applicant acknowledges that the stormwater revision shall be permitted through the State and has engaged MaineDEP to prepare the required submission process.

- *The City will need the updated post-construction maintenance plan for site, including the proposed bioretention cell. Please send a copy of the MDEP stormwater permit modification application, which would include a post-construction maintenance plan.*

The Applicant has provided an updated Stormwater O&M Manual in the application package.

- *Attached is a sketch of the proposed parking layout with a minor adjustment. Would this alignment be more beneficial to the site?*

The Applicant wishes to proceed with the current circulation layout provided.

The following is an itemized response to the comments contained within the **BWD Water Comments** dated **November 6, 2025**. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

- *Bangor Water District never received confirmation of how the existing fire service will be used, modified or abandoned. It enters the building in the portion which will be demolished.*

The Demolition Plan (Sheet C-3) has been revised to denote that the existing water service shall be cut and cap in accordance with the Bangor Water District requirements.



Via E-Mail

August 10, 2018

City of Bangor - Planning
Anja Collette
73 Harlow Street
Bangor, ME 04401

Re: 570 Stillwater Ave, Bangor, ME – Redevelopment of existing building

Dear Anja Collette:

This letter shall confirm that this proposed project is privately funded for improvements that we are seeking approval on and no public funds are being requested in order to deliver upon this project.

Feel free to contact me should you have any questions.

Very truly yours,

Jordan Chapman

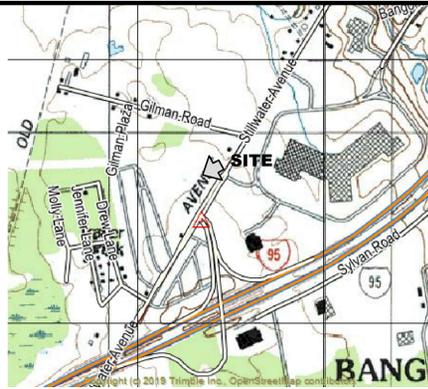


TAX MAP R61 LOT 001
NOW OR FORMERLY
JBN PROPERTIES INC
BOOK 6370, PAGE 227
(1997)

TAX MAP R61 LOT 001
NOW OR FORMERLY
JBN PROPERTIES INC
BOOK 6370, PAGE 227
(1997)

TAX MAP R62 LOT 001
NOW OR FORMERLY
BANGOR RETAIL
MANAGEMENT, LLC
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES

TAX MAP R55 LOT 002
NOW OR FORMERLY
GRANT REALTY
CORPORATION
BOOK 8741, PAGE 155
(2003)



LOCATION MAP: USGS QUADRANGLE: VEAZIE
MAPTECH® USGS TOPOGRAPHIC SERIES™
©MAPTECH®, INC. 978-933-3000
WWW.MAPTECH.COM/TOPO

- NOTES:**
- 1) ALL BOOK AND PAGE NUMBERS REFER TO THE PENOBSCOT COUNTY REGISTRY OF DEEDS.
 - 2) SOURCE DEED: E. JEAN OLIVER TO BANGOR RETAIL MANAGEMENT, LLC DATED JULY 10, 2017 RECORDED JULY 11, 2017 AND RECORDED IN BOOK 14542, PAGE 1 OF SAID REGISTRY OF DEEDS.
 - 3) THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON SURFACE FEATURES VISIBLE AT THE TIME OF THE SURVEY AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.
 - 4) THIS SURVEY IS ORIENTED TO THE MAINE STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - 5) ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV D 88).
 - 6) SEWER LINES, UTILITY INFORMATION AND STORMDRAIN FEATURES SHOWN HEREON WERE OBTAINED FROM THE CITY OF BANGOR GIS DATA, INVERT INFORMATION SHOWN HEREON WAS OBTAINED FROM FIELD MEASUREMENTS. WATERLINES ARE FROM THE PLAN REFERENCES HEREON AND ALL UTILITIES SHOULD BE FIELD VERIFIED.

PROPERTY DESCRIPTION PER TITLE REPORT:

A certain lot or parcel of land, with the improvements thereon, situate on the northwesterly side of Stillwater Avenue, so-called, in Bangor, County of Penobscot, State of Maine, being bounded and described as follows, to-wit:

Beginning at a point being a found iron rod situated on the northwesterly sideline of said Stillwater Avenue, marking the southerly corner of lands now or formerly of Burton Dennis Payson, Jr. as described in the deed recorded in the Penobscot County Registry of Deeds in Volume 3788, Page 111; thence N. 57 degrees, 47 minutes, 07 seconds W., along lands of said Payson a distance of 268.64 feet to a found iron rod on the southeasterly line of other lands now or formerly of Burton Dennis Payson, as described in the deed recorded in said Registry of Deeds in Volume 4074, Page 105; thence S. 80 degrees, 47 minutes, 10 seconds W., along lands of said Payson, a distance of 281.34 feet to another iron rod found; thence S. 10 degrees, 51 minutes, 00 seconds E., along lands, now or formerly, of Judson M. Grant, Jr. as described in a deed recorded in said Registry of Deeds in Volume 3875, Page 327, a distance of 627.74 feet to a tree situated on said line; thence S. 16 degrees, 39 minutes, 48 seconds E., a distance of 77.22 feet to an iron rod found in the said northwesterly sideline of Stillwater Avenue; thence N. 31 degrees, 37 minutes, 12 seconds E., by and along the said northwesterly sideline of Stillwater Avenue, a distance of 695.60 feet to an iron rod at the point of beginning.

PLAN REFERENCES:

1. "ALTANSPS LAND TITLE SURVEY, LAND OWNED BY E. JEAN OLIVER ON THE NORTHWEST SIDE OF STILLWATER AVENUE IN THE CITY OF BANGOR, COUNTY OF PENOBSCOT AND STATE OF MAINE" DATED MARCH 1, 2017 AND PREPARED BY MCNALLY LAND SURVEYORS.
2. "SITE DEVELOPMENT PLANS FOR THE AVENUE DEVELOPMENT" PROVIDED BY THE CITY OF BANGOR, APPROVED JUNE 20, 2017 AND PREPARED BY STONEFIELD ENGINEERING AND DESIGN.
3. "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 19, BANGOR PENOBSCOT COUNTY, FEDERAL AID PROJECT NO. M-1510(1), SHC FILE NO. 10-263" DATED JAN. 1981 AND RECORDED IN VOLUME D123-83 OF THE PENOBSCOT COUNTY REGISTRY OF DEEDS.
4. "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, RIGHT OF WAY MAP, STATE HIGHWAY "95" FEDERAL AID PROJECT NO. IR4-MNH-88-8(155), DOT FILE NOT. 10-387" DATED JUNE 1999 AND RECORDED IN PLAN FILE 2002-161 AND 2002-162 OF THE PENOBSCOT COUNTY REGISTRY OF DEEDS.

ZONING:
SHOPPING & PERSONAL SERVICE (S&PS)
MINIMUM LOT AREA: 10,000 SQ. FT.
MINIMUM FRONT YARD SETBACK: 40 FEET
MINIMUM SIDE YARD SETBACK: 25 FEET
MINIMUM REAR YARD SETBACK: 10 FEET

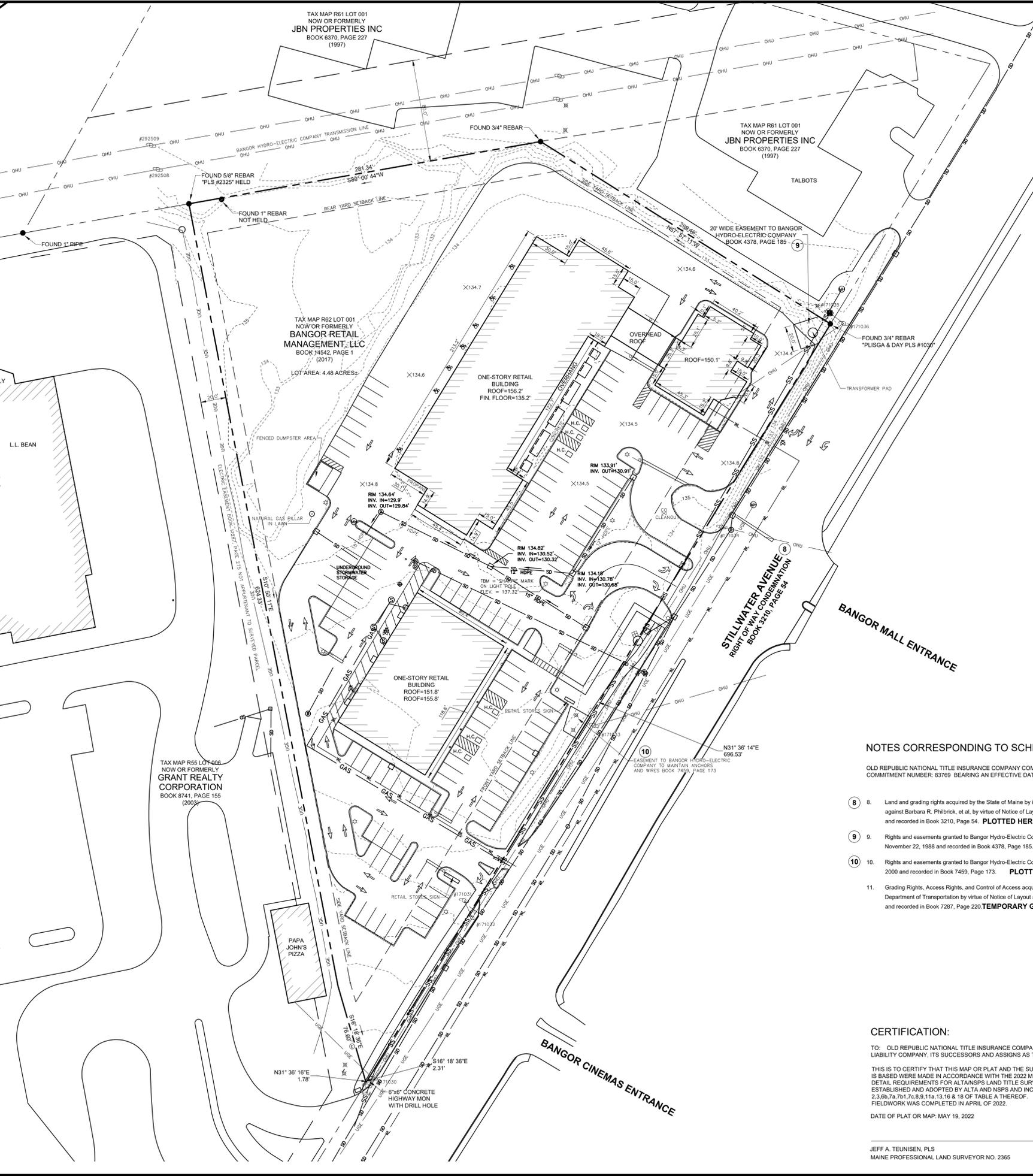
FLOOD NOTE:
BY GRAPHIC PLOTTING THE SUBJECT PARCEL IS SITUATED IN ZONE X AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 230102 0012 C WHICH BEARS AN EFFECTIVE DATE OF MARCH 4, 2002. THE MAP INDICATES THAT THE SURVEYED PARCEL IS NOT SUBJECT TO A SPECIAL FLOOD HAZARD AREA ASSOCIATED WITH THE 100 YEAR FLOOD.

TABLE A NOTES:

- 16) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 17) NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES KNOWN. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

LEGEND:

DESCRIPTION	EXISTING
MONUMENT	●
PIN FOUND	○
SEWER MANHOLE	⊙
UTILITY POLE	⊕
CATCH BASIN	⊞
HYDRANT	⊠
PROPERTY LINE	—
OVERHEAD UTILITY LINE	OHU
EDGE OF PAVEMENT	—
SETBACK	—
MINOR FOOT CONTOUR	---
MAJOR FOOT CONTOUR	---
FENCE	-X-X-



NOTES CORRESPONDING TO SCHEDULE B:

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER: 83769 BEARING AN EFFECTIVE DATE OF JANUARY 13, 2017 @ 4:00 PM.

8. Land and grading rights acquired by the State of Maine by its Department of Transportation against Barbara R. Philbrick, et al. by virtue of Notice of Layout and Taking dated July 21, 1981 and recorded in Book 3210, Page 54. **PLOTTED HEREON, DOES NOT AFFECT.**
9. Rights and easements granted to Bangor Hydro-Electric Company in an instrument dated November 22, 1988 and recorded in Book 4378, Page 185. **PLOTTED HEREON, DOES AFFECT.**
10. Rights and easements granted to Bangor Hydro-Electric Company in an instrument dated 2000 and recorded in Book 7459, Page 173. **PLOTTED HEREON, DOES AFFECT.**
11. Grading Rights, Access Rights, and Control of Access acquired by the State of Maine by its Department of Transportation by virtue of Notice of Layout and Taking dated December 15, 1999 and recorded in Book 7287, Page 220 **TEMPORARY GRADING RIGHTS, DOES NOT AFFECT.**

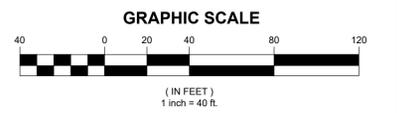
CERTIFICATION:

TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND ALRG USA ACQUISITIONS, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS AS THOSE INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2022 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2.3, 6.5, 7A, 7B1, 7C, 8.9, 11A, 13, 16 & 18 OF TABLE A THEREOF. FIELDWORK WAS COMPLETED IN APRIL OF 2022.

DATE OF PLAT OR MAP: MAY 19, 2022

JEFF A. TEUNISEN, PLS
MAINE PROFESSIONAL LAND SURVEYOR NO. 2365



REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
One Merchants Plaza, Suite 701
Bangor, Maine 04401
207.989.4824
WWW.HALEYWARD.COM

ALRG USA
PROPERTY OF
BANGOR RETAIL MANAGEMENT, LLC

ALTANSPS LAND TITLE SURVEY

DATE	SCALE	
2022.05.13	1"=40'	
DRAWN BY	DESIGNED BY	CHECKED BY
DG	---	---
PROJECT No.	12696.007	
DRAWING No.	V101	



#L- _____
ATS # _____
Fees Paid _____
Date Received _____

MINOR REVISION APPLICATION
For Site Location, Natural Resources Protection Act & Stormwater Projects

This form shall be used for minor revisions to a project that has received previous Site Law, NRPA or Stormwater Law approval from the Department, where the revision(s) significantly decreases or eliminates an environmental impact, does not significantly expand the project, does not change the nature of the project or does not modify any Department findings with respect to any licensing criteria. If significant project changes are proposed, then an amendment application will be required by the Department.

Please contact the DEP for current fee schedule information. The fee schedule is updated every November 1. The fee is payable to "Treasurer, State of Maine", and **MUST** accompany the application.

Please type or print in black ink only

1. Name of Applicant:	Bangor Retail Mgmt.	5. Name of Agent:	Stonefield Engineering
2. Applicant's Mailing Address:	[REDACTED]	Agent's Mailing Address:	[REDACTED]
3. Applicant's Daytime Phone #:	[REDACTED]	7. Agent's Daytime Phone #:	[REDACTED]
4. Applicant e-mail address (REQUIRED):	[REDACTED]	8. Agent e-mail address (REQUIRED):	[REDACTED]
LOCATION OF ACTIVITY			
9. Name of Project:	570 Stillwater Avenue		
10. Name of Town where project is located:	Bangor	11. County:	Penobscot
REQUIRED INFORMATION:			
12. Existing DEP permit number:		13. DEP Project Manager for previous application (if known):	
14. Description of Proposed Change: (Use additional sheet, if necessary)	Proposed parking lot improvements		

Provide all documentation necessary to support the proposed change. This documentation should include, as appropriate, revised site plans, construction drawings, and technical data such as HHE-200 forms. (If you are unsure of what information to include, please contact the original DEP project manager, or the Division of Land Resource Regulation in the appropriate regional office for assistance.)

This completed application form, fee and all supporting documents summarized above shall be sent to the appropriate DEP Office in Augusta, Portland or Bangor.

Bureau of Land and Water Quality 17 State House Station Augusta, ME 04333 Tel: (207) 287-3901	Bureau of Land and Water Quality 312 Canco Road Portland, ME 04103 Tel: (207) 822-6300	Bureau of Land and Water Quality 106 Hogan Road Bangor, ME 04401 (207) 941-4570
--	---	--

CERTIFICATIONS / SIGNATURES on PAGE 2

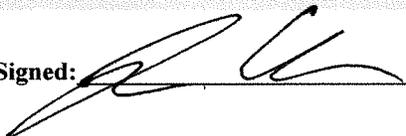
IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

CERTIFICATIONS / SIGNATURES

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

Further, I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by e-mailing the decision to the electronic address located on the front page of this application (see #4 and #8)"

Signed:  Title Project Manager Date: 7/15/2025

Notice of Intent to Comply with Maine Construction General Permit

If over one acre of new disturbance will result as part of the proposed minor revision, please sign here acknowledging that with this minor revision form and signature below, I am filing notice of my intent to carry out work which meets the requirements of the Maine Construction General Permit. I have read and will comply with all of the MCGP standards.

Signed _____ Date: _____

NOTE: If a Notice of Intent is required, you must file a Notice of Termination (NOT form available from the Department) within 20 days of completing permanent stabilization of the project site.

STONEFIELD

October 15, 2025

Anja Collette
Community & Economic Development
Planning Division
73 Harlow Street
Bangor, ME 04401

**RE: Proposed Parking Lot Reconstruction
Map R62, Lot 001
570 Stillwater Avenue
City of Bangor, Penobscot, Maine**

On behalf of the Applicant, Stonefield Engineering and Design, has prepared the following Site Location of Development Act Modification Narrative to outline the proposed project and provide support for the SLODA Modification Permit Application.

Section 1 – Development Description

The subject property is located across the Bangor Mall along Stillwater Avenue in the City of Bangor, Penobscot County, Maine. The subject property is designated as Map R62, Lot 001, commonly known as 570 Stillwater Avenue, Bangor, Maine. The existing site contains a single floor multi-tenant building operating with various commercial uses with existing access via one (1) signalized full movement driveway and one (1) right-in/right-out driveway along Stillwater Avenue. It is important to note that under the proposed parking lot expansion, the existing access would be maintained and the commercial building footprint would be marginally reduced. As such, future subject site operations are anticipated to be generally consistent with historical operations and the net traffic impacts of the redevelopment would be negligible.

Section 2 – Title, Right or Interest

The Applicant owns the property. Please refer to the Appendix for the property deed.

Section 3 – Financial Capacity

The project shall be funded by the budget prepared by the applicant, Bangor Retail Management, LLC.

Section 4 – Technical Ability

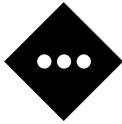
Stonefield Engineering and Design has been retained by the applicant to deliver engineering expertise and support throughout the project.

Section 5 – Noise

The development will be designed to minimize noise impacts on surrounding properties. All construction activity will comply with the Town's Zoning Ordinance and be limited to designated working hours.

Section 6 – Visual Quality and Scenic Character

Visual Quality and the scenic character of the Town will not be affected by the proposed parking lot. No new buildings will be erected as part of the proposed improvements.



Section 7 – Wildlife and Fisheries

Based on the City of Bangor ArcGIS, no historic sites have been identified within the boundaries of the subject parcel. No significant impact to local wildlife and fisheries is anticipated.

Section 8 – Unusual Natural Area

According to City of Bangor ArcGIS data and a site survey conducted on behalf of the applicant no designated unusual natural areas have been identified within the boundaries of the subject parcel. No significant impact to unusual natural areas is anticipated. Please refer to the Site Survey in the Appendix.

Section 9 – Historic Sites

According to City of Bangor ArcGIS data, no historic sites have been identified within the boundaries of the subject parcel. This project will have no impact on historic sites.

Section 10 – Buffers

The proposed redevelopment complies with all applicable buffer requirements set forth in the City Zoning Ordinance. No additional buffers are anticipated to meet City requirements and standards.

Section 11 – Soils

The soils within the subject property are primarily a mix of Pushaw-Swanville urban land and Anthroportic urban land. Please refer to the USDA NRCS Web Soil Survey included in the Appendix.

Section 12 – Stormwater Management

The total project area is 195,280 SF (4.48 acres), the total area of impervious surfaces has decreased by 3,065 SF (0.07 acres), and the total area of disturbance is 15,831 SF (0.38 acres).

The intent for the project is to ensure that the post-construction drainage patterns match or improve upon the previously approved development while reducing the overall sheet flow onto Stillwater Avenue, reducing overall impervious surface area, and meeting stormwater treatment requirements through the proposed bioretention cell. Please see below for a short summary of pre-developed and post-developed drainage area conditions.

TABLE I: PRE-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area
E-1	Existing Drainage to Stillwater Avenue	11,539 SF	9,894 SF
E-2	Existing Drainage to Parking Lot	4,292 SF	3,872 SF

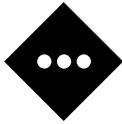


TABLE 2: POST-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area
P-1	Proposed Drainage to Stillwater Avenue	5,670 SF	3,534 SF
P-2	Proposed Drainage to Bioretention Cell	5,905 SF	4,198 SF
P-3	Proposed Drainage to Parking Lot	4,256 SF	2,969 SF

Section 13 – Urban Impaired Stream

The project is located within an Urban Impaired Watershed (Penjawoc Stream). Given the natural reduction in impervious area, the project is exempt from any mitigation/flood compensation requirements as outlined in MDEP Chapter 500 subsection (4)(E).

Section 14 – Basic Standards

The project will maintain existing stormwater infrastructure and implement erosion control in accordance with the City of Bangor and MaineDEP regulations. Please refer to the Soil Erosion & Sediment Control Plan (Sheet C-6).

Section 15 – Groundwater

According to City of Bangor ArcGIS data, no sand and gravel aquifer or fractured bedrock aquifer have been identified within the boundaries of the subject parcel. The proposed project will not utilize groundwater.

Section 16 – Water Supply

The existing facility is served by the Bangor Water District. There are no proposed changes at this time that would increase water demand.

Section 17 – Wastewater Disposal

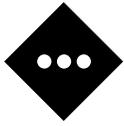
The existing facility is served by the City of Bangor wastewater treatment facility. There are no proposed changes at this time that would increase wastewater disposal.

Section 18 – Solid Waste

There is existing solid waste disposal for the existing building. The project will not generate any special or hazardous solid waste. All construction debris will be disposed appropriately by the contractor.

Section 19 – Flooding

The existing site is not located within a flood zone. Please refer to flood insurance rate map #23019C2109D dated July 19, 2023 in the Appendix.



Section 20 – Blasting

The proposed improvements are not anticipated to require blasting.

Section 21 – Air Emissions

The proposed improvements are not anticipated to generate air emissions.

Section 22 – Odor

The proposed improvements are not anticipated to generate any significant odors.

Section 23 – Water Vapor

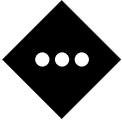
The proposed improvements are not anticipated to generate any water vapor.

Section 24 – Sunlight

The proposed improvements will not influence sunlight on adjacent properties.

Section 25 – Notices

All required public notices and abutter notifications will be coordinated in accordance with municipal requirements.



APPENDIX A

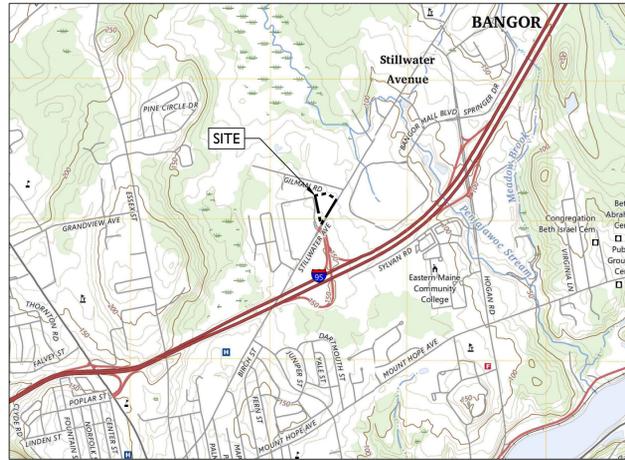
INVENTORY

SITE PLANS

DEED

NRCS SOILS REPORT

FEMA MAP



SOURCE: USGS BANGOR QUADRANGLE MAPS 7.5 SERIES: BANGOR, MAINE, 2024

LOCATION MAP

SCALE: 1" = 2,000'±

SITE PLAN SET FOR THE AVENUE DEVELOPMENT PROPOSED PARKING LOT EXPANSION

MAP: R62 LOT: 001
570 STILLWATER AVENUE
CITY OF BANGOR, PENOBSCOT COUNTY, MAINE

ZONING LEGEND

- SHOPPING AND PERSONAL SERVICE
- LOW DENSITY RESIDENTIAL

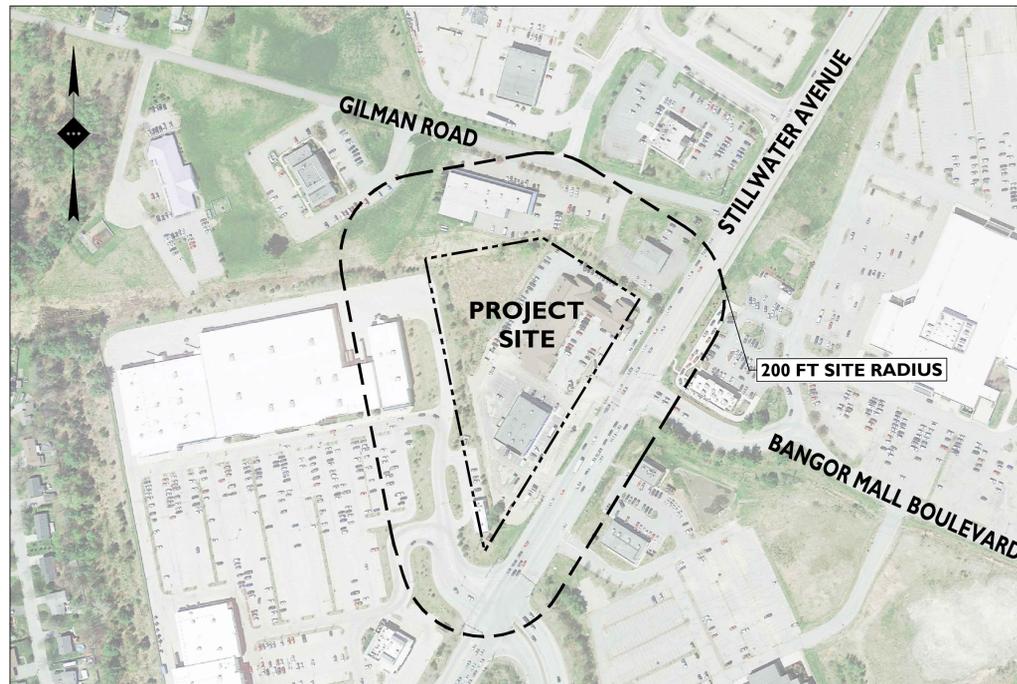
OWNER/APPLICANT

BANGOR RETAIL MANAGEMENT, LLC



Know what's below
Call before you dig.

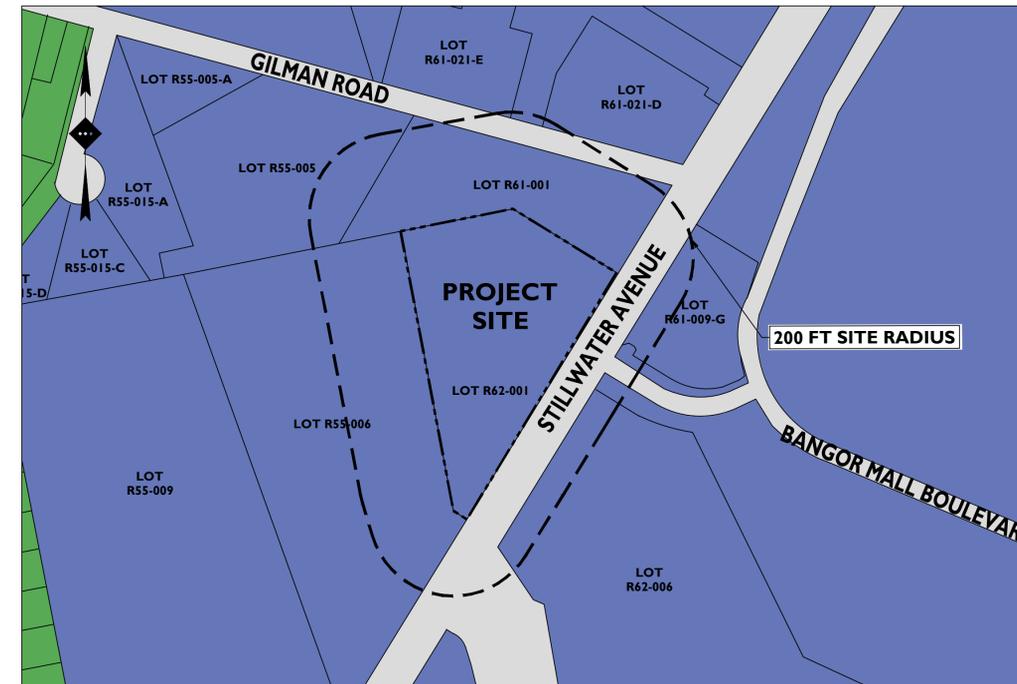
ISSUE	DATE	BY	DESCRIPTION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION



SOURCE: GOOGLE EARTH PRO, RETRIEVED ON JUNE 29, 2022

AERIAL MAP

SCALE: 1" = 200'±



SOURCE: ZONING MAP OBTAINED FROM THE CITY OF BANGOR, DATED MARCH 14, 2018

ZONING MAP

SCALE: 1" = 200'±

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefieldeng.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

MAP	LOT	OWNER	OWNER'S ADDRESS
R55	005	NO LIMITS, LLC	PO BOX 458, WINTERPORT, ME 04496
R55	006	GRANT REALTY CORPORATION C/O PARAMOUNT REALTY SERVICES ATTN: MARTY SAFCHIK	LAKEWOOD, NJ 08701
R61	001	JBN PROPERTIES INC	42 GILMAN ROAD, BANGOR, ME 04401
R61	009-G	BANGOR MALL REALTY LLC ATTN: NAMDAR REALTY GROUP	150 GREAT NECK ROAD SUITE 304, GREAT NECK NY, 11021
R62	006	ERG REALTY LLC	PO BOX 2400, BANGOR, ME 04402-2400
R62	009	605 STILLWATER AVENUE, LLC	3280 SUNRISE HIGHWAY, STE 77, WANTAGH, NY 11793

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTAIENS'S LAND TITLE SURVEY PROVIDED BY HALEY WARD ENGINEERING DATED MAY 13, 2022
 - ARCHITECTURAL PLANS PROVIDED BY DETROIT ARCHITECTURAL GROUP DATED MARCH 25, 2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO DATED JUNE 29, 2022
 - ZONING MAP OBTAINED FROM CITY OF BANGOR DATED MARCH 14, 2018
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN	C-9 - C-10
CONSTRUCTION DETAILS	C-11 - C-12

STONEFIELD
engineering & design



Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefieldeng.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET
THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

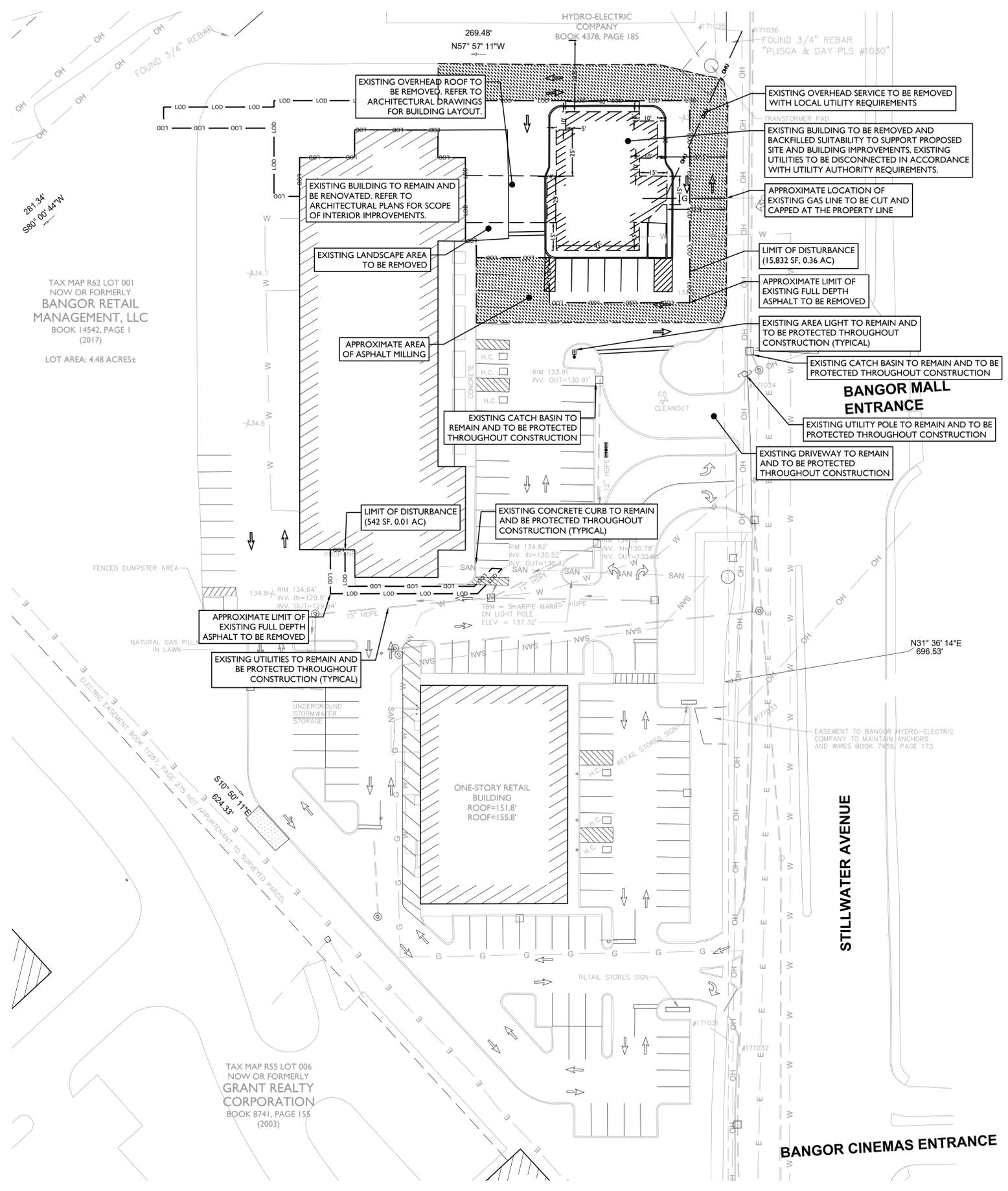
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: BOS-220049

TITLE:
COVER SHEET

DRAWING:
C-1



TAX MAP R62 LOT 001
NOW OR FORMERLY
BANGOR RETAIL
MANAGEMENT, LLC
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
NOW OR FORMERLY
GRANT REALTY
CORPORATION
BOOK 8741, PAGE 155
(2003)

SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

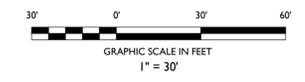
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
6. CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF ANY UNDERGROUND TANKS OR GREASE TRAPS IN ACCORDANCE TO LOCAL AND STATE STANDARDS.
7. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ENVIRONMENTAL REPORTS AND THEIR ASSOCIATED RECOMMENDATIONS.



FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL SUBMISSION	DATE	BY	DESCRIPTION
1	0	10/06/2025	AB	
	0	07/18/2025	AB	

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

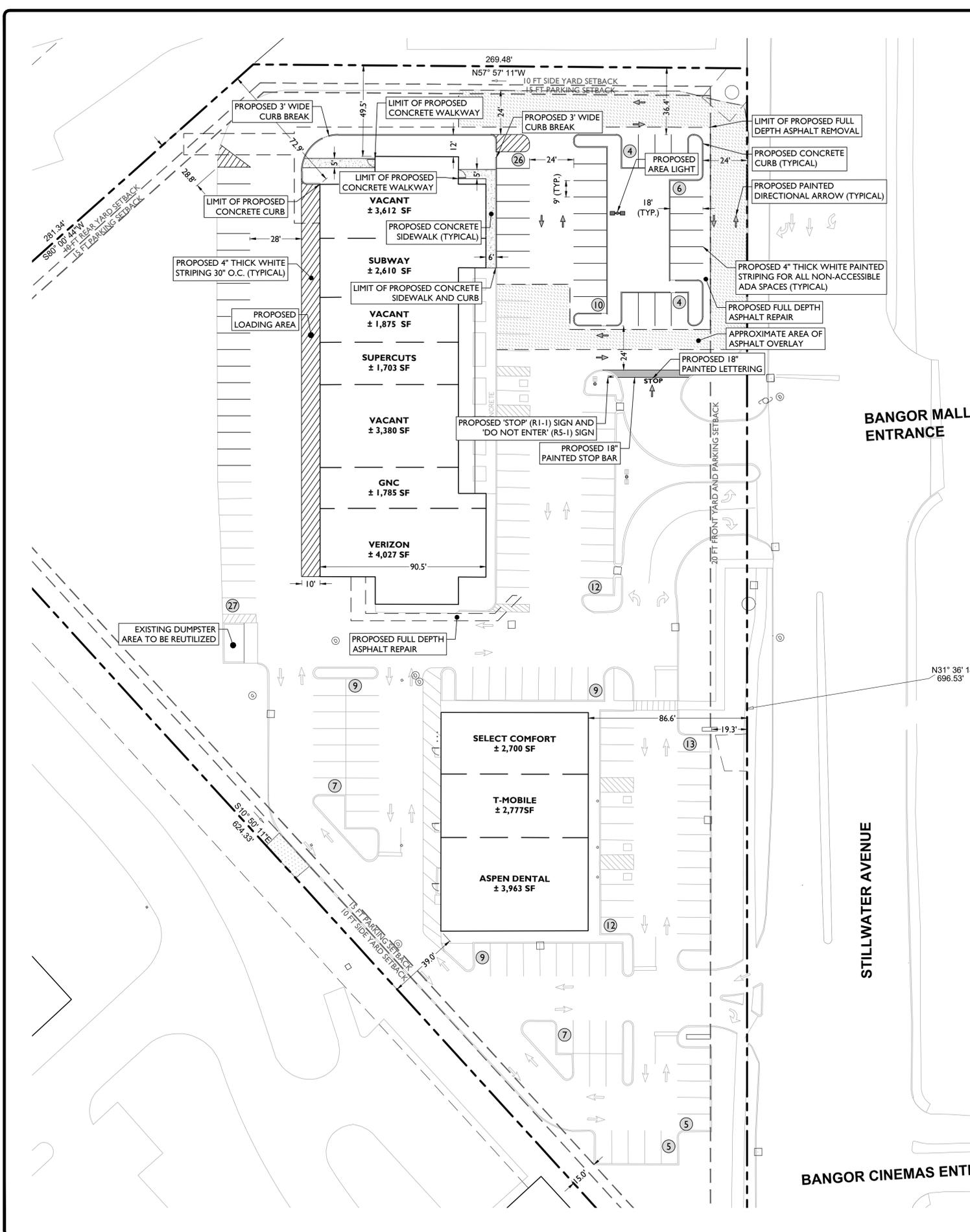
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
DEMOLITION PLAN

DRAWING:
C-3

Z:\PROJECTS\2025\220049\AUG_25\STILLWATER_BANGOR_HICAD\DWG\DEMOLITION.DWG



LAND USE AND ZONING				
MAP R62, LOT 001				
SHOPPING AND PERSONAL SERVICE (S&PS)				
PENJAWOC MARSH OVERLAY ZONE				
PROPOSED USE				
NO CHANGE IN PROPOSED USE				
ZONING REQUIREMENT	REQUIRED	EXISTING	PREVIOUSLY APPROVED (2017)	PROPOSED
MINIMUM LOT AREA	10,000 SF (0.45 AC)	195,280 SF (4.48 AC)	195,280 SF (4.48 AC)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	698.3 FT	698.3 FT	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE RATIO	0.70 (136,696 SF)	0.67 (131,158 SF)	0.63 (122,606 SF)	0.66 (129,714 SF)
MAXIMUM LOT COVERAGE	25.0% (48,820 SF)	16.6% (32,439 SF)	20.0% (39,060 SF)	14.6% (28,432 SF)
MAXIMUM BUILDING HEIGHT	40 FT	< 40 FT	< 40 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	20 FT	32.5 FT	87.0 FT	86.6 FT
MINIMUM SIDE YARD SETBACK	10 FT	38.8 FT	39.3 FT	39.0 FT
MINIMUM REAR YARD SETBACK	10 FT	72.9 FT	72.9 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.6	0.20 (39,060 SF)	0.20 (39,060)	0.15 (28,432 SF)
MINIMUM PARKING SETBACK (STREET LINE)	20 FT	19.3 FT	20 FT	19.3 FT
MINIMUM PARKING SETBACK (SIDE & REAR LOT LINE)	15 FT	15 FT	15 FT	15 FT

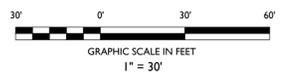
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-72S	ADA PARKING: TOTAL PARKING SPACES: 165 SPACES REQUIRED MINIMUM OF HANDICAPPED ACCESSIBLE SPACES: 6 SPACES	6 SPACES
§ 165-73.D.2	BUFFER REQUIREMENTS: ALL PARKING LOTS FRONTING ON A PUBLIC STREET OR PRIVATE WAY SHALL HAVE AN E BUFFER YARD ALONG THE STREET RIGHT-OF-WAY	COMPLIES
§ 165-74.A	PARKING SPACE SIZE: 90° PARKING: 9 FT X 18 FT W/ 24 FT AISLES	9 FT X 18 FT W/ 24 FT AISLES
§ 165-74.B	LANDSCAPING ISLANDS: MINIMUM WIDTH BETWEEN ROWS: 5 FT MINIMUM WIDTH AT END OF ROWS: 4 FT	N/A 4 FT
§ 165-76	SERVICE: 1 SPACE FOR 1,000 SF TO 25,000 SF 1 SPACE REQUIRED	
§ 165-77	DIMENSIONS: LESS THAN 10,000 SF OF GFA MINIMUM LENGTH: 25 FT MINIMUM WIDTH: 10 FT MINIMUM CLEARANCE: 10 FT	WILL OCCUR DURING OFF PEAK HOURS

TOTAL OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED (*)	PROPOSED (**)
§ 165-72	FURNITURE STORE: FIRST 2,000 SF - 1 SPACE PER 300 SF (2,000 SF) / (300 SF) = 7 SPACES 2,000 SF AND UP - 1 SPACE PER 600 SF (700 SF) / (600 SF) = 2 SPACES DENTAL OFFICE: 1 SPACE PER 200 SF OF FLOOR AREA (3,963 SF) / (200 SF) = 20 SPACES RETAIL STORE & SERVICE BUSINESS: 1 SPACE PER 300 SF OF FLOOR AREA (10,292 SF) / (300 SF) = 35 SPACES DRIVE-IN BUSINESS SERVING FOOD: 1 SPACE PER 200 SF OF SEATING AREA (2,610 SF) * (1/200 SF) = 14 SPACES VACANT: 1 SPACE PER 200 SF OF FLOOR AREA (8,867 SF) / (200 SF) = 45 SPACES TOTAL SPACES REQUIRED: 9 + 20 + 35 + 14 + 45 = 123 SPACES	165 SPACES

(*) REQUIRED NUMBER OF SPACES FOR THE VACANT BUILDING AREA WERE CALCULATED USING GENERAL RESTAURANT REQUIREMENTS
 (**) PROPOSED NUMBERS WERE CALCULATED FROM AN ACCUMULATION OF THE EXISTING AND PROPOSED SITE DESIGN.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED CONCRETE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NO.	DATE	BY	DESCRIPTION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
SITE PLAN

DRAWING:
C-4

Z:\PROJECTS\2025\220049\AUG_15\STILLWATER.BANGOR.HICAD\DOT\DWG\04-RTED.DWG

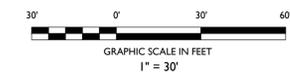
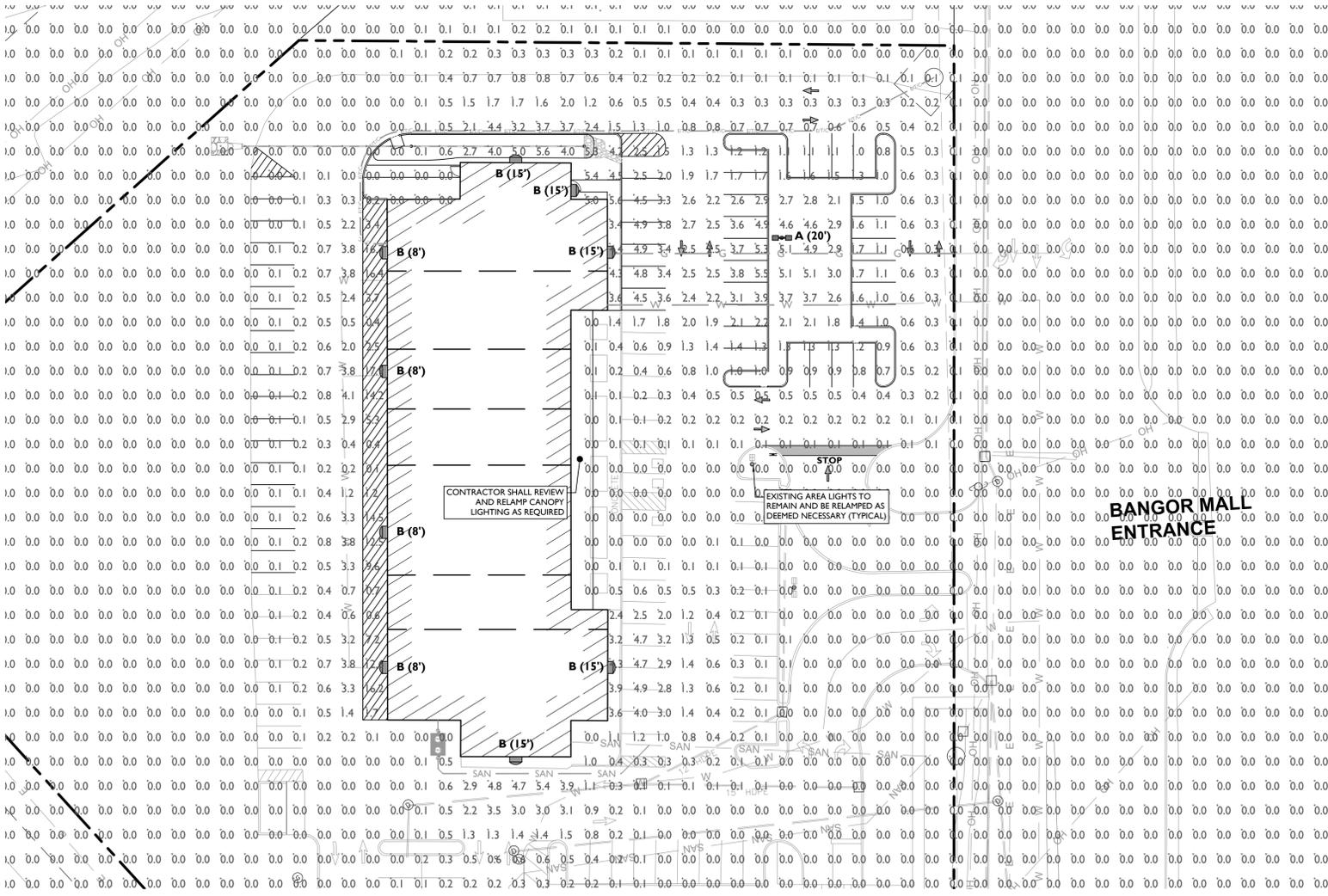
LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-81 B	ALL DEVELOPMENT REQUIRING LAND DEVELOPMENT APPROVAL SHALL BE PROVIDED WITH ADEQUATE OUTSIDE LIGHTING TO ENSURE A SAFE ENVIRONMENT. NO UNDESIRABLE ILLUMINATION OR GLARE WILL BE PRODUCED ON ADJACENT STREETS OR LOTS OCCUPIED BY RESIDENTIAL, INSTITUTIONAL OR PUBLIC USES	COMPLIES
§ 165-81 C.2.A	NO LUMINAIRE SHALL PRODUCE A STRAY, LIGHT OR REFLECTION ONTO NEIGHBORING RESIDENTIAL PROPERTIES, OR ONTO ANY PUBLIC ROAD	COMPLIES
§ 165-81 C.2.B	LUMINAIRES SHALL BE SHIELDED OR HOODED SO THAT THE LIGHTING ELEMENTS ARE NOT EXPOSED. NO LUMINAIRE SHALL EMIT ANY DIRECT LIGHT ABOVE ITS HORIZONTAL PLANE	COMPLIES
§ 165-81 C.2.C	NO FLOOD OR SPOT LUMINAIRE SHALL BE AIMED, DIRECTED OR FOCUSED TOWARD ANY ADJACENT OR NEARBY RESIDENTIAL PARCEL	COMPLIES
§ 165-81 C.2.F	MAXIMUM POLE HEIGHT: 25 FT	20 FT

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	SLICE MEDIUM OUTDOOR LED AREA LIGHT	TYPE V	0.9	LSI LIGHTING	SUM-LED-12L-SIL-SW-30-70CRLIES
	B	9	EDGE SERIES - OUTDOOR LED WALLPACK	TYPE V	0.9	CREE LIGHTING	ARE-EDG-4M-XX-06-E-UL-XX-525-XXXX-40K-IES

SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOT CANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/06/2025	AB	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	AB	FOR MUNICIPAL SUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

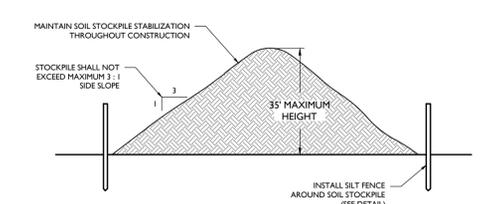
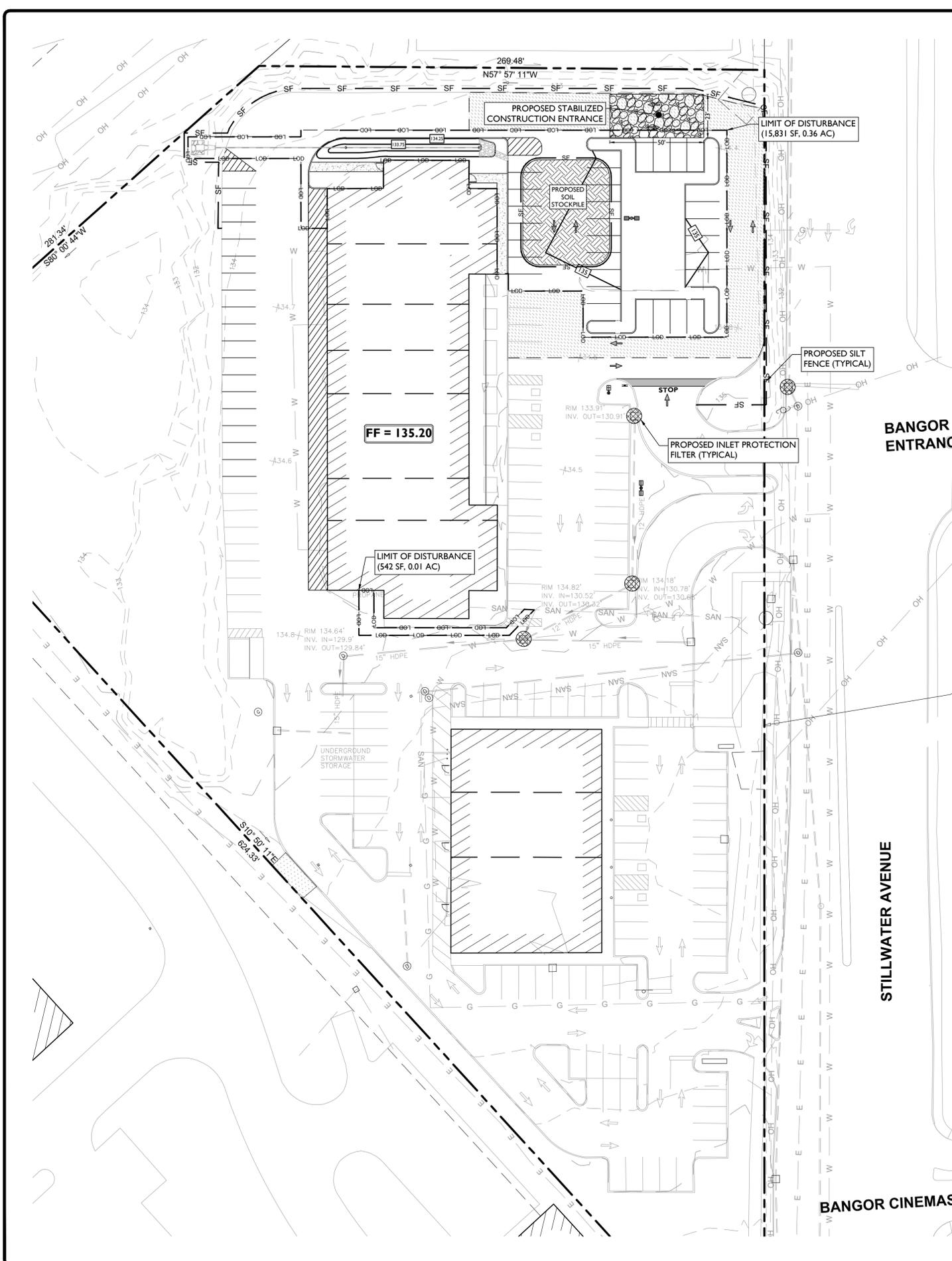
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
LIGHTING PLAN

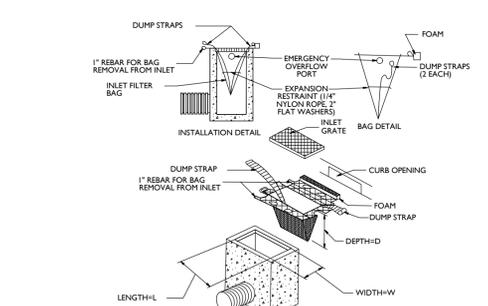
DRAWING:
C-7

Z:\PROJECTS\2025\BOS220049\ALING - 10/15/25\11/11/25\BANGOR_HICAD\01\LIGHTING\09_LIGHTING.dwg

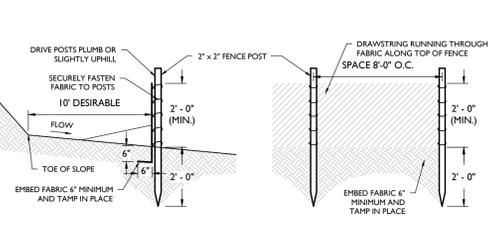


NOTES:
 1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

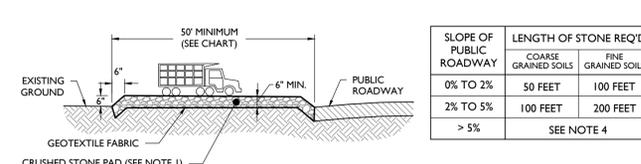


INLET FILTER BAG DETAIL



NOTES:
 1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 4" (MIN.) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10' IS DESIRABLE.

SILT FENCE DETAIL



SLOPE OF PUBLIC ROADWAY (SEE CHART)	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

NOTES:
 1. STONE SHALL BE ASTM C-33, SIZE NO. 2 (2.5" TO 1.5") OR NO. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

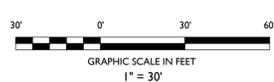
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	LOD
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER
---	PROPOSED GEOTEXTILE FILTER FABRIC

SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



Know what's below
Call before you dig.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/06/2025	AB	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	AB	FOR MUNICIPAL SUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

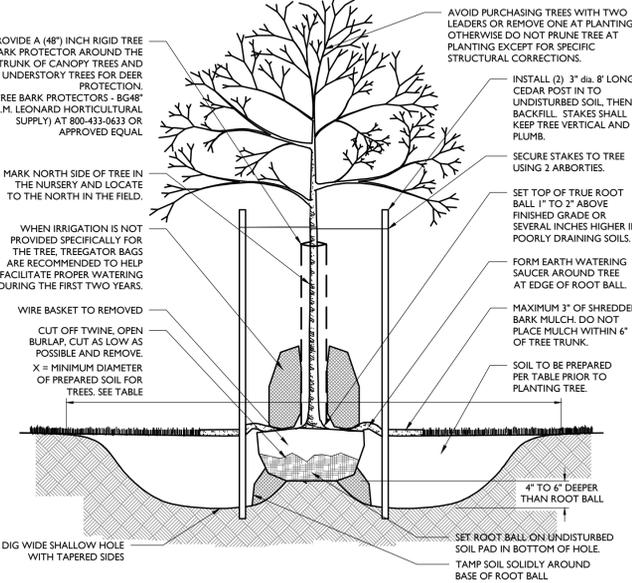
TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:
C-8

Z:\PROJECTS\2025\220049\AUG - 25\STILLWATER_BANGOR_HICADD\LOT001\DWG\811.DWG

NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

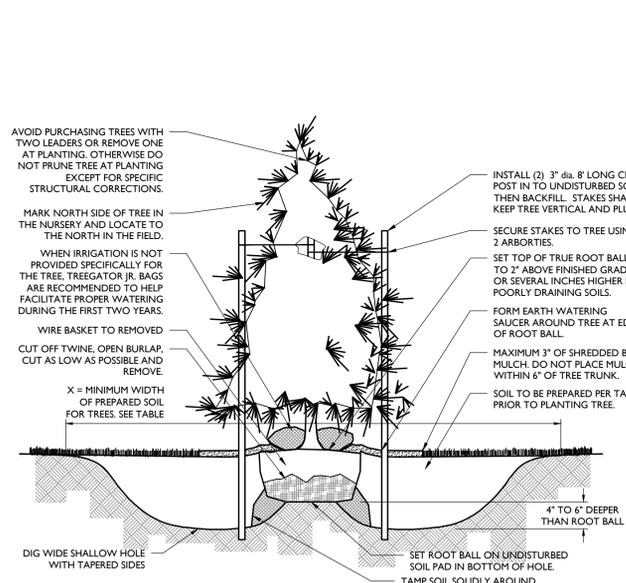


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

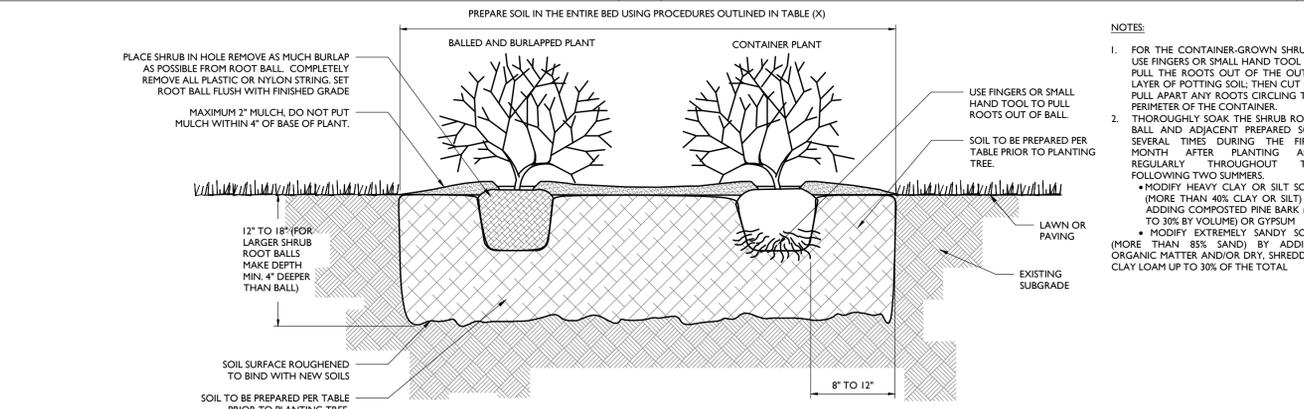
NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

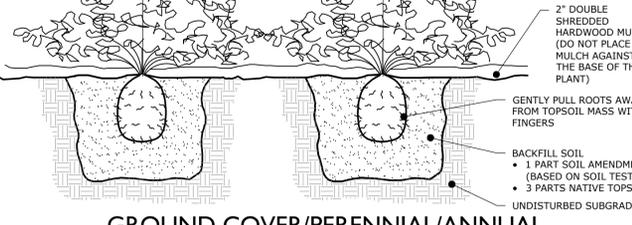
NOT TO SCALE

- NOTES:**
- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS

SPACING CHART
NOT TO SCALE

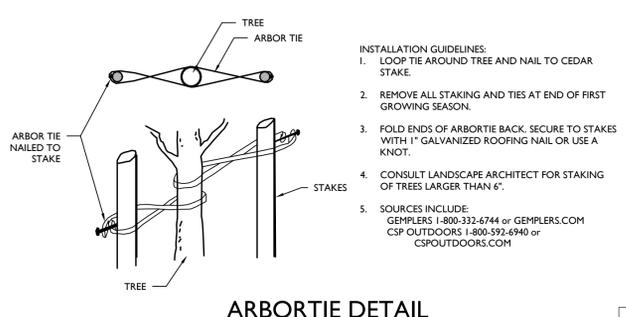
SPACING "D"	ROW "A"
6" O.C.	5.20'
8" O.C.	6.93'
10" O.C.	8.66'
12" O.C.	10.40'
15" O.C.	13.00'
18" O.C.	15.60'
24" O.C.	20.80'
30" O.C.	26.00'
36" O.C.	30.00'

PLANTED ON CENTER (SEE SPACING CHART)



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



ARBORTIE DETAIL

NOT TO SCALE

- NOTES:**
- FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENT OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIPLINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE PROTECTION DETAILS. NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIPLINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") FROM APPROXIMATELY TWO INCHES (2") ABOVE THE FINISHED GRADE AT TREE TRUNK. GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WIND-ERODIBLE ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, PEBBLES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCORRHIZAL FUNGI: A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER, MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORRHIZAL FUNGI: EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

MYCORRHIZAL FUNGI - TREE SAVER

- A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER, MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORRHIZAL FUNGI: EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR SLOW RELEASE OF NUTRIENTS AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PERI BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

IRRIGATION DURING ESTABLISHMENT

SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4" > CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

- TABLE NOTES:**
- AT EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL, DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
 - WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER, NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
 - WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT MATERIAL AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREVIOUSLY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEEL-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- ALL PLANTS TO BE TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED TOPSOIL. PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO CUT DOWN OR REMOVE PLANTS FROM THE SITE OR ENLARGE PLANTING HOLES TO AVOID OBSTRUCTION.
- IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
- THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BUEBERIANUM
 - ACER FRAXINOSUM
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERCIDIPHYLLUM VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - NYSSA SYLVATICA
 - OSTRYA VIRGINIANA
 - PINUS NIGRA
 - PLATANUS VARIETIES
 - POPULUS VARIETIES
 - PRUNUS VARIETIES
 - PYRUS VARIETIES
 - QUERCUS VARIETIES (NOT Q. PALUSTRIS)
 - SALIX WEEPING VARIETIES
 - TAXODIUM VARIETIES
 - TAXUS B. REPANDENS
 - TILIA TOMENTOSA VARIETIES
 - ULMUS PARVIFOLIA VARIETIES
 - ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FINAL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO: REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYNS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DIRECTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND FOR USE FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS. MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT ALL LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT EXPANSION

SITE PLAN SET

MAP R42, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

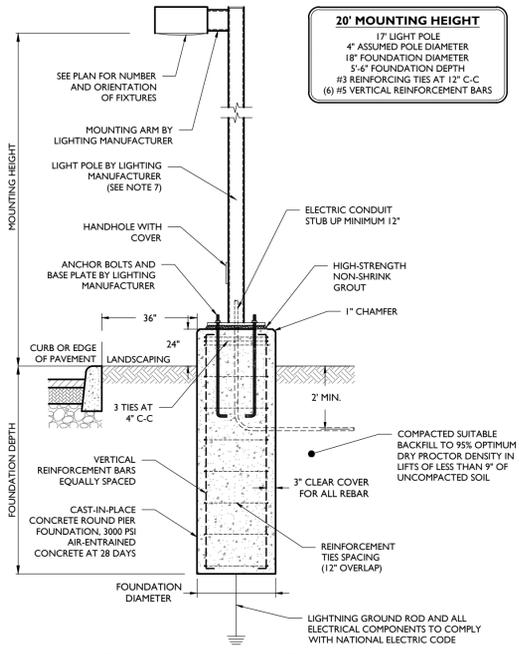
STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-22049

TITLE:
LANDSCAPING DETAILS

DRAWING:

C-10



LIGHT POLE INSTALLATION DETAIL

- NOT TO SCALE
- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Catalog # _____ Project _____ Year _____
 Proposed By _____ Date _____

LSI

Slice Medium (SLM) Outdoor LED Area Light

MADE IN THE USA

IP66 IK10

OVERVIEW

Lumen Package	9,000 - 55,000
Voltage Range	62 - 436
Efficacy Range (LPW)	104 - 162
Weight (lbs/kg)	27 (12.2)
Control Options	MSBT, ALB, ALS, 7-Pin, PCI

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 33 lbs in carton.

Optical System

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also Available in Phospho-Converted Amber with Peak Intensity at 610nm.
- 70 or 80CRI Minimum.
- Integral lower (LL) and integral half lower (HL) options available for enhanced backlight control.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input, 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F), 42L and 48L lumen packages rated to +40°C; 55L lumen package rated to +35°C.
- Power factor >:90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern. (See drawing in notes section)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/warranty> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Darksky approved with 3000K color temperature selection and fixed mounting.
- Title 24 Compliant: see local ordinance for qualification information.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications.
- IK10 rated luminaire per IEC 66262 mechanical impact code.
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,896,365 B2).

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com
 103103 rev. 04/2022. All Rights Reserved. Specifications and Dimensions subject to change without notice. Specifications subject to change without notice.

Page 2/78 Rev. 09/22/25 SPEC. 110.0.0425

Slice Medium Outdoor LED Area Light

Rev. 04/2022

Need more information? Call us at (800) 436-7800

ORDERING GUIDE

Profile	Light Source	Lumen Package	Lens	Distribution	Orientation	Voltage	Driver
SLM - Slice Medium	LED	9K - 55,000 lms 15K - 17,000 lms 24K - 24,000 lms 30K - 30,000 lms 36K - 36,000 lms 42K - 42,000 lms 48K - 48,000 lms 55K - 55,000 lms Custom Lumen Packages	SL - Silicone	2 - Type 2 3 - Type 3 4 - Type 4 5 - Type 5 6 - Type 6 7 - Type 7 8 - Type 8 9 - Type 9 10 - Type 10 11 - Type 11 12 - Type 12 13 - Type 13 14 - Type 14 15 - Type 15 16 - Type 16 17 - Type 17 18 - Type 18 19 - Type 19 20 - Type 20 21 - Type 21 22 - Type 22 23 - Type 23 24 - Type 24 25 - Type 25 26 - Type 26 27 - Type 27 28 - Type 28 29 - Type 29 30 - Type 30 31 - Type 31 32 - Type 32 33 - Type 33 34 - Type 34 35 - Type 35 36 - Type 36 37 - Type 37 38 - Type 38 39 - Type 39 40 - Type 40 41 - Type 41 42 - Type 42 43 - Type 43 44 - Type 44 45 - Type 45 46 - Type 46 47 - Type 47 48 - Type 48 49 - Type 49 50 - Type 50 51 - Type 51 52 - Type 52 53 - Type 53 54 - Type 54 55 - Type 55 56 - Type 56 57 - Type 57 58 - Type 58 59 - Type 59 60 - Type 60 61 - Type 61 62 - Type 62 63 - Type 63 64 - Type 64 65 - Type 65 66 - Type 66 67 - Type 67 68 - Type 68 69 - Type 69 70 - Type 70 71 - Type 71 72 - Type 72 73 - Type 73 74 - Type 74 75 - Type 75 76 - Type 76 77 - Type 77 78 - Type 78 79 - Type 79 80 - Type 80 81 - Type 81 82 - Type 82 83 - Type 83 84 - Type 84 85 - Type 85 86 - Type 86 87 - Type 87 88 - Type 88 89 - Type 89 90 - Type 90 91 - Type 91 92 - Type 92 93 - Type 93 94 - Type 94 95 - Type 95 96 - Type 96 97 - Type 97 98 - Type 98 99 - Type 99 100 - Type 100	0° - 0° 15° - 15° 30° - 30° 45° - 45° 60° - 60° 75° - 75° 90° - 90° 105° - 105° 120° - 120° 135° - 135° 150° - 150° 165° - 165° 180° - 180° 195° - 195° 210° - 210° 225° - 225° 240° - 240° 255° - 255° 270° - 270° 285° - 285° 300° - 300° 315° - 315° 330° - 330° 345° - 345° 360° - 360°	120-277V AC 347-480V AC High Voltage (347-480V)	DM - 0-10V Dimming (10-100%)

Color Temperature

50 - 5,000 (K)
40 - 4,000 (K)
35 - 3,500 (K) (80 CRI only)

Color Rendering

90 - 90 CRI
80 - 80 CRI
70 - 70 CRI

Controls

Wireless Controls System

- ALSK - ArtLink Syncro Control System
- ALSKB - ArtLink Syncro Control System with 1.2" 30" Motion Sensor
- ALSKC - ArtLink Syncro Control System with 30-40" Motion Sensor
- ALSKD - ArtLink Syncro Control System with 30-40" Motion Sensor
- ALSKM - ArtLink Blue Long Range Wireless Motion & Photo Sensor Controller (8-24" Mounting Height)
- ALSKN - ArtLink Blue Long Range Wireless Motion & Photo Sensor Controller (25-40" Mounting Height)

Standalone Controls

- EST - 0-10V Dimming (0% to 100%) to existing controller
- OP - 7 Pin Control (Resistorless) (80-130°)
- MSBT - Integral Bluetooth® Motion and Photo Sensor (8-24" MH)
- MSBTB - Integral Bluetooth® Motion and Photo Sensor (25-40" MH)

Ballast Type Profiles

PC120 - 120V
PC120-277 - 277V
PC57 - 57V

Finish

BLK - Black
BRZ - Dark Bronze
CRG - Gun Metal Gray
GRY - Granite
MSV - Metallic Silver
PLP - Platinum Plus
SWG - Satin Verde Green
WHI - White

Options

Integral Half Lower (Moderate Spill Light Control)
Integral Lower (Maximum Spill Light Control)
Shrapnel Light Control

ACCESSORY ORDERING INFORMATION

Category	Order Number	Description	Order Number
CONTROLS ACCESSORIES	12214	Terminal Block (20 Pin)	12214
	12215	Terminal Block (12 Pin)	12215
	12216	Terminal Block (6 Pin)	12216
MOUNTING ACCESSORIES	12217	Round Pole Adapter (3" Round Pole)	12217
	12218	Round Pole Adapter (4" Round Pole)	12218
FIXTURE OPTIONS	12219	Single Fixing (10V)	12219
	12220	Double Fixing (10V)	12220
EXTERNAL MOUNTING OPTIONS	12221	External Mount (10V)	12221
	12222	External Mount (10V)	12222

LED Count (at 10')

LED Count (at 10')	Dim. 3"	Weight
12	12" (305mm)	21 lbs. (9.5kg)
24	12" (305mm)	22 lbs. (10.0kg)
36	12" (305mm)	25 lbs. (11.3kg)
48	12" (305mm)	27 lbs. (12.2kg)
60	12" (305mm)	27 lbs. (12.2kg)
72	12" (305mm)	28 lbs. (12.7kg)
84	12" (305mm)	28 lbs. (12.7kg)

Ordering Information

Example: SEC-400-24-30-10M-50-E-UL-90-700

SEC-400	24	30	10M	50	E	UL	90	700
Product	Optic	Mounting	LED Count	Series	Voltage	Color Options	Drive Current	Options
SEC-400	24	30	10M	50	E	UL	90	700

SEC-400

Product	Optic	Mounting	LED Count	Series	Voltage	Color Options	Drive Current	Options
SEC-400	24	30	10M	50	E	UL	90	700

Options

- DM - 0-10V Dimming (Control by remote)
- MSV - Metallic Silver (For maximum implementation of the programmable multi-level option, a minimum of one level is required)
- PLP - Platinum Plus (Compatible only with 120V, 277V or 347V (Phase to neutral))
- SWG - Satin Verde Green (Compatible only with 120V, 277V or 347V (Phase to neutral))
- WHI - White (Compatible only with 120V, 277V or 347V (Phase to neutral))
- PH - Phospho-Converted Amber (Compatible only with 120V, 277V or 347V (Phase to neutral))
- MSBT - Integral Bluetooth® Motion and Photo Sensor (8-24" MH)
- MSBTB - Integral Bluetooth® Motion and Photo Sensor (25-40" MH)
- MSV - Metallic Silver (For maximum implementation of the programmable multi-level option, a minimum of one level is required)
- PLP - Platinum Plus (Compatible only with 120V, 277V or 347V (Phase to neutral))
- SWG - Satin Verde Green (Compatible only with 120V, 277V or 347V (Phase to neutral))
- WHI - White (Compatible only with 120V, 277V or 347V (Phase to neutral))
- PH - Phospho-Converted Amber (Compatible only with 120V, 277V or 347V (Phase to neutral))
- MSBT - Integral Bluetooth® Motion and Photo Sensor (8-24" MH)
- MSBTB - Integral Bluetooth® Motion and Photo Sensor (25-40" MH)

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com
 103103 rev. 04/2022. All Rights Reserved. Specifications and Dimensions subject to change without notice. Specifications subject to change without notice.

Page 2/78 Rev. 09/22/25 SPEC. 110.0.0425

AREA LIGHT FIXTURE 'A' SPECIFICATION

NOT TO SCALE

THE EDGE® Series LED Security Wall Pack Luminaire

Rev. Date: 1/7/2020

Product Description

THE EDGE® wall mount luminaire has a slim, low profile design. The luminaire and caps are made from rugged die cast aluminum with integral, weatherlight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang 2-Boxes. Secures to wall with four (4) "B" Screws (by others). Control wires from top, bottom, side and rear. Allow mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes lead/leak guard.

Applications: General area and security lighting

Performance Summary

- Patented NanoLogic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRB Minimum 70 CRI
- CC1 4000K (+/- 300K), 5700K (+/- 500K) standard
- Limited Warranty: 10 years on luminaires/10 years on Colorfast DataGuard™ finish

Accessories

Product	Ready Photo	Hard Hat Mount
1A-8000PH	1A-8000PH	1A-8000PH
1A-8000PH	1A-8000PH	1A-8000PH

LED Count (at 10')

LED Count (at 10')	Dim. 3"	Weight
12	12" (305mm)	21 lbs. (9.5kg)
24	12" (305mm)	22 lbs. (10.0kg)
36	12" (305mm)	25 lbs. (11.3kg)
48	12" (305mm)	27 lbs. (12.2kg)
60	12" (305mm)	27 lbs. (12.2kg)
72	12" (305mm)	28 lbs. (12.7kg)
84	12" (305mm)	28 lbs. (12.7kg)

Ordering Information

Example: SEC-400-24-30-10M-50-E-UL-90-700

SEC-400	24	30	10M	50	E	UL	90	700
Product	Optic	Mounting	LED Count	Series	Voltage	Color Options	Drive Current	Options
SEC-400	24	30	10M	50	E	UL	90	700

SEC-400

Product	Optic	Mounting	LED Count	Series	Voltage	Color Options	Drive Current	Options
SEC-400	24	30	10M	50	E	UL	90	700

Options

- DM - 0-10V Dimming (Control by remote)
- MSV - Metallic Silver (For maximum implementation of the programmable multi-level option, a minimum of one level is required)
- PLP - Platinum Plus (Compatible only with 120V, 277V or 347V (Phase to neutral))
- SWG - Satin Verde Green (Compatible only with 120V, 277V or 347V (Phase to neutral))
- WHI - White (Compatible only with 120V, 277V or 347V (Phase to neutral))
- PH - Phospho-Converted Amber (Compatible only with 120V, 277V or 347V (Phase to neutral))
- MSBT - Integral Bluetooth® Motion and Photo Sensor (8-24" MH)
- MSBTB - Integral Bluetooth® Motion and Photo Sensor (25-40" MH)
- MSV - Metallic Silver (For maximum implementation of the programmable multi-level option, a minimum of one level is required)
- PLP - Platinum Plus (Compatible only with 120V, 277V or 347V (Phase to neutral))
- SWG - Satin Verde Green (Compatible only with 120V, 277V or 347V (Phase to neutral))
- WHI - White (Compatible only with 120V, 277V or 347V (Phase to neutral))
- PH - Phospho-Converted Amber (Compatible only with 120V, 277V or 347V (Phase to neutral))
- MSBT - Integral Bluetooth® Motion and Photo Sensor (8-24" MH)
- MSBTB - Integral Bluetooth® Motion and Photo Sensor (25-40" MH)

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com
 103103 rev. 04/2022. All Rights Reserved. Specifications and Dimensions subject to change without notice. Specifications subject to change without notice.

Page 2/78 Rev. 09/22/25 SPEC. 110.0.0425

LIGHT FIXTURE 'B' SPECIFICATION

NOT TO SCALE

STONEFIELD
 engineering & design

Rutherford, NJ • New York, NY • Salem, MA
 Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
 Phone 617.203.2076

STONEFIELD
 engineering & design

SITE PLAN SET

THE AVENUE DEVELOPMENT PROPOSED PARKING LOT EXPANSION

MAP 842, LOT 001
 570 STILLWATER AVENUE
 CITY OF BANGOR
 PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
 MAINE LICENSE No. 16648
 LICENSED PROFESSIONAL ENGINEER

STONEFIELD
 engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-220049

TITLE:
LIGHTING DETAILS

DRAWING:
C-12

N O T
A N

N O T
A N

3. ~~○ Rights and easements granted to Bangor Hydro Electric Company in an instrument dated July 13, 2000 and recorded in the Registry in Book 7459, Page 173~~

N O T

N O T

4. ~~Grading Rights, Access Rights, and Control of Access acquired by the State of Maine by its Department of Transportation by virtue of Notice of Layout and Taking dated December 15, 1999 and recorded in the Registry in Book 7287, Page 2210.~~

5. Tenants in possession under unrecorded leases.

For source of title reference is made to a warranty deed from Barbara R. Philbrick to Craig D. Oliver and E. Jean Oliver dated October 26, 1984 and recorded in the Penobscot County Registry of Deeds in Book 3592, Page 157 with additional reference to a quitclaim deed from Craig D. Oliver to E. Jean Oliver dated August 5, 1994 and recorded in said Registry in Book 5691, Page 109.

WITNESS my hand and seal this 10th day of July, 2017.

WITNESS:

[Signature]

By: *E. Jean Oliver*
E. Jean Oliver

STATE OF Maine
COUNTY OF Cumberland

July 10, 2017

Personally appeared the above-named E. Jean Oliver and acknowledged before me the foregoing instrument to be her free act and deed.

Before me,

Bonnie L. Martindich
~~Notary Public/Attorney-at-Law~~
Print Name: Bonnie L. Martindich
Commission Expires: _____
(Affix Notarial Seal)



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

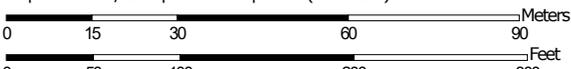
Custom Soil Resource Report for Penobscot County, Maine, Southern Part



Custom Soil Resource Report Soil Map



Map Scale: 1:1,320 if printed on a portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Penobscot County, Maine, Southern Part
 Survey Area Data: Version 10, Aug 26, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 11, 2021—Oct 29, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PuB	Pushaw-Swanville-Urban land association, 0 to 8 percent slopes	2.4	52.4%
UrB	Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes	2.2	47.6%
Totals for Area of Interest		4.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The

Custom Soil Resource Report

delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Penobscot County, Maine, Southern Part

PuB—Pushaw-Swanville-Urban land association, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 11s77
Elevation: 20 to 300 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Pushaw and similar soils: 35 percent
Swanville and similar soils: 30 percent
Urban land: 20 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Pushaw

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 7 inches: silt loam
Bw - 7 to 15 inches: silt loam
BCg - 15 to 18 inches: silt loam
C - 18 to 65 inches: silty clay loam

Properties and qualities

Slope: 3 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 6 to 17 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: C/D
Ecological site: F144BY401ME - Clay Flat
Hydric soil rating: No

Custom Soil Resource Report

Description of Swanville

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 6 inches: silt loam
Bg - 6 to 18 inches: silt loam
BCg - 18 to 24 inches: silt loam
C - 24 to 65 inches: silty clay loam

Properties and qualities

Slope: 0 to 5 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 10.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: D
Ecological site: F144BY001ME - Marine Terrace Flat, F144BY304ME - Wet Clay Flat, F144BY401ME - Clay Flat
Hydric soil rating: Yes

Description of Urban Land

Setting

Landform: — error in exists on —
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Minor Components

Telos

Percent of map unit: 5 percent
Landform: River valleys
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope

Custom Soil Resource Report

Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Anthroportic udorthents

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Boothbay

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope, backslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

UrB—Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: sw80
Elevation: 20 to 1,200 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 70 percent
Anthroportic udorthents and similar soils: 15 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Description of Anthropotic Udorthents

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy till

Typical profile

^A - 0 to 30 inches: silt loam
C - 30 to 65 inches: gravelly silt loam

Properties and qualities

Slope: 0 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to very high (0.01 to 99.90 in/hr)
Depth to water table: About 24 to 39 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: Moderate (about 7.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydrologic Soil Group: C
Ecological site: F144BY501ME - Loamy Slope (Northern Hardwoods)
Hydric soil rating: No

Minor Components

Tunbridge

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Base slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Pushaw

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Custom Soil Resource Report

Telos

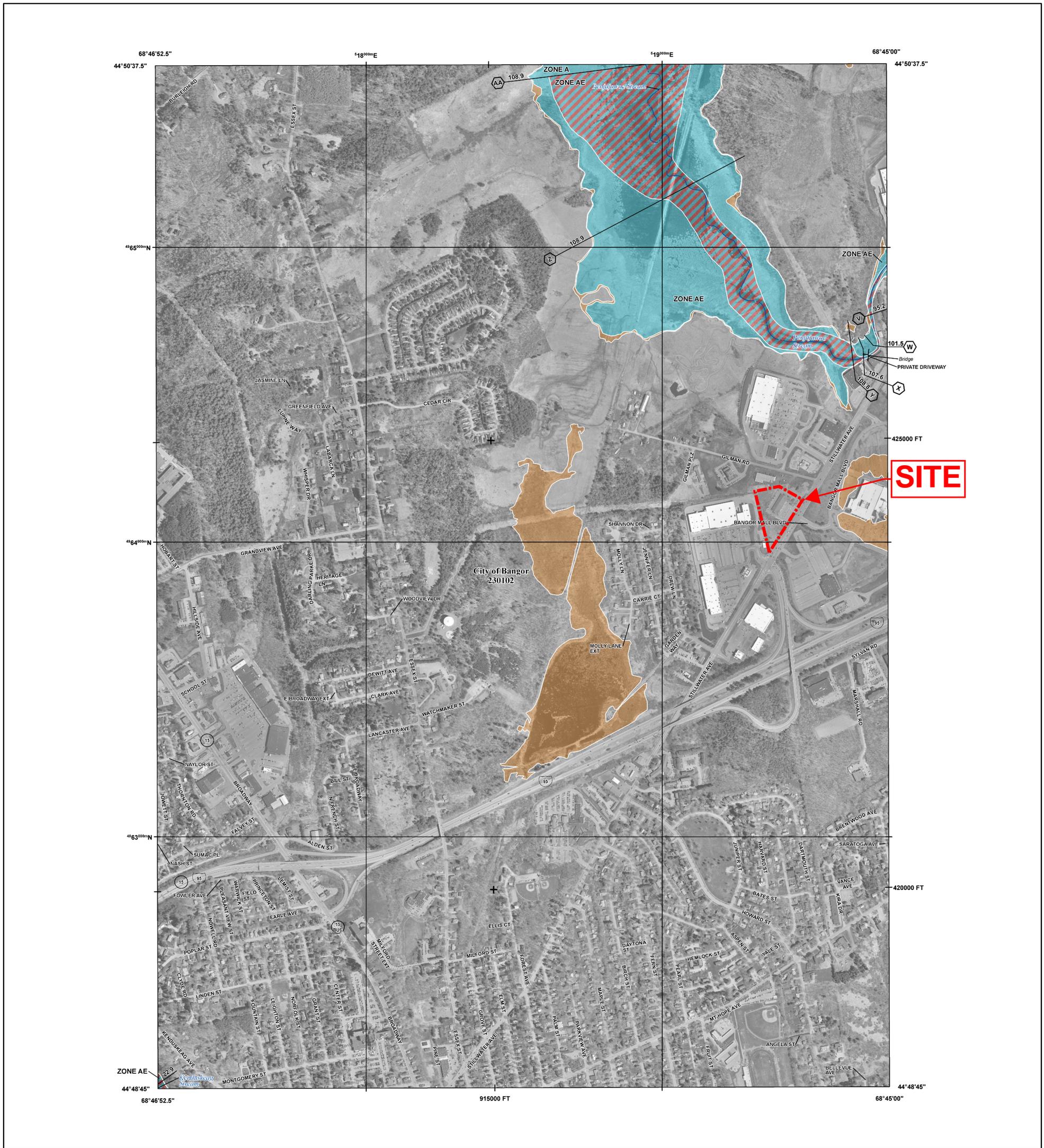
Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Swanville

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: F144BY001ME - Marine Terrace Flat
Hydric soil rating: Yes

Chesuncook

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No



FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTPS://MSC.FEMA.GOV](https://MSC.FEMA.GOV)

	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee See Notes. Zone X
	Area with Flood Risk due to Levee Zone D
	NO SCREEN Area of Minimal Flood Hazard Zone X
	Area of Undetermined Flood Hazard Zone D
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary

NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Mapping and Insurance eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Flood Map Service Center website at <https://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

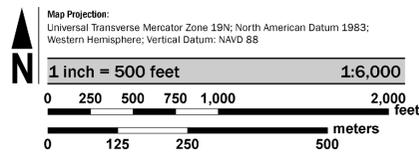
For community and countywide map dates refer to the Flood Insurance Study Report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

The map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables may reflect stream channel distances that differ from what is shown on the map.

Base map information shown on this FIRM was provided by the Maine Geolibary, dated 2014; the Office of Information Technology, Maine Office of GIS, dated 2017; and the U.S. Geological Survey, dated 2018.

SCALE



PANEL LOCATOR

	2106	2107	2126	2127	
	2104	2108	2109	2128	2129
	2112	2116	2117	2136	2137



NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP

PENOBSCOT COUNTY, MAINE
 (All Jurisdictions)
 PANEL 2109 OF 2356

Panel Contains:
 COMMUNITY BANGOR, CITY OF
 NUMBER 230102
 PANEL 2109
 SUFFIX D

VERSION NUMBER 2.6.4.6
 MAP NUMBER 23019C2109D
 EFFECTIVE DATE JULY 19, 2023



STORMWATER MANAGEMENT STATEMENT

Project: Proposed Multi-Tenant Development Plans
Map R62, Lot I
570 Stillwater Avenue
City of Bangor, Penobscot County, Maine

Dated: October 8, 2025

Reference: **Site Plan**
(Prepared by Stonefield Engineering & Design, LLC, dated October 6, 2025)

PROJECT DESCRIPTION

Alrig is proposing a parking lot expansion of the subject property. The subject property is located across the Bangor Mall along Stillwater Avenue in the City of Bangor, Penobscot County, Maine. The subject property is designated as Map R62, Lot 001, commonly known as 570 Stillwater Avenue, Bangor, Maine. The existing site contains a single floor multi-tenant building operating with various commercial uses with existing access via one (1) signalized full movement driveway and one (1) right-in/right-out driveway along Stillwater Avenue. It is important to note that under the proposed parking lot expansion, the existing access would be maintained and the commercial building footprint would be marginally reduced. The site location is depicted in the Aerial Map within the **Appendix A**.

The total project area is 15,831 SF (0.36 acres), the total area of impervious surfaces has decreased by 3,065 SF (0.07 acres), and the total area of disturbance is 15,831 SF (0.36 acres).

This Stormwater Management Statement has been prepared to analyze the drainage measures to be implemented for controlling and conveying runoff associated with the on-site improvements and has been prepared in accordance with the standards of the City of Bangor and the Maine Department of Environmental Protection Standards.

ON-SITE SOILS

According to the Penobscot County Soil Survey as issued by the Natural Resources Conservation Services, the soils on-site consist of 52.4% Pushaw-Swanville-Urban land (PuB) which has a hydrologic soil rating of C/D and 47.6% Urban Land-Anthroportic Udorthents (UrB) which has a hydrologic soil rating of C.

The project area, outlined in the Drainage Area Maps within Appendix A, consists of 100% Urban Land-Anthroportic Udorthents (UrB) which has a hydrologic soil rating of C.

PRE-DEVELOPMENT DRAINAGE CONDITIONS

Under current conditions, the project site is divided into two (2) drainage areas. POI-1 sheet flows along Stillwater Avenue into the catch basins that are part of the City of Bangor stormwater conveyance system. POI-2 conveys stormwater from the overland flow into the on-site catch basin which connects to the on-site subsurface pipe and stone storage system, before ultimately discharging into the City of Bangor stormwater management system.

TABLE 1: PRE-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area	Time of Concentration
E-1	Existing Drainage to Stillwater Avenue	11,539 SF	9,894 SF	6.0*
E-2	Existing Drainage to Parking Lot	4,292 SF	3,872 SF	6.0*

*A minimum time of concentration of 6.0 minutes was assumed for the purposes of these calculations.

Existing hydrologic calculations can be found in **APPENDIX A** of this Statement.

POST-DEVELOPED DRAINAGE CONDITIONS

Under proposed conditions, the general drainage patterns and ultimate Points of Interest will be maintained or be improved upon while meeting SLODA stormwater treatment requirements through the proposed on-site bioretention system. The intent behind the proposed delineations is to meet stormwater treatment requirements by promoting drainage into the proposed bioretention system while reducing the amount impervious coverage on-site. The majority of the parcel shall remain tributary to the on-site stormwater management system with the remainder sheet flowing and being captured within the City of Bangor municipal stormwater conveyance system. See below for a short summary of each area:

TABLE 2: POST-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area	Time of Concentration
P-1	Proposed Drainage to Stillwater Avenue	5,670 SF	3,534 SF	6.0*
P-2	Proposed Drainage to Bioretention Cell	5,905 SF	4,198 SF	6.0*
P-3	Proposed Drainage to Parking Lot	4,256 SF	2,969 SF	6.0*

*A minimum time of concentration of 6.0 minutes was assumed for the purposes of these calculations.

Proposed hydrologic calculations can be found in **APPENDIX A** of this Statement.

STORMWATER MANAGEMENT ANALYSIS

The stormwater management design intent for the project is to ensure that the post-construction drainage patterns match or improve upon the previously approved development while reducing the overall sheet flow onto Stillwater Avenue, reducing overall impervious surface area, and meeting stormwater treatment requirements through the bioretention cell. The project is designed to conform to the stormwater management requirements set forth by the MaineDEP and the City of Bangor.

PROJECT SOILS

Per the National Resource Conservation Service (NRCS) data, the soil underlying the project site consists of:

TABLE 3: NRCS PROJECT SOILS

Soil Unit Code	Soil Description	Approximate Project Coverage	Hydrologic Soil Group
UrB	Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes	100%	C

The hydrologic soil group classifications above have been utilized in the landcover data for the stormwater analysis performed on the project. Please refer to the NRCS Soil Report located in Appendix A.

EROSION CONTROL

A Soil Erosion & Sediment Control Plan has been prepared in accordance with the latest edition of the Standards for Soil Erosion and Sediment Control in Massachusetts. Proposed temporary measures during construction include silt fencing, stabilized construction entrances, inlet protection filters, and a soil stockpile.

CONCLUSION

As demonstrated in this report, the volume generated by the proposed redevelopment will be satisfactorily mitigated by the reduction in impervious cover and on-site bioretention cell. The proposed project complies with all applicable stormwater management regulations and standards. As such, the project is not anticipated to have any adverse drainage impacts on neighboring properties, downstream watercourses, or adjoining conveyance systems.

Prepared by:

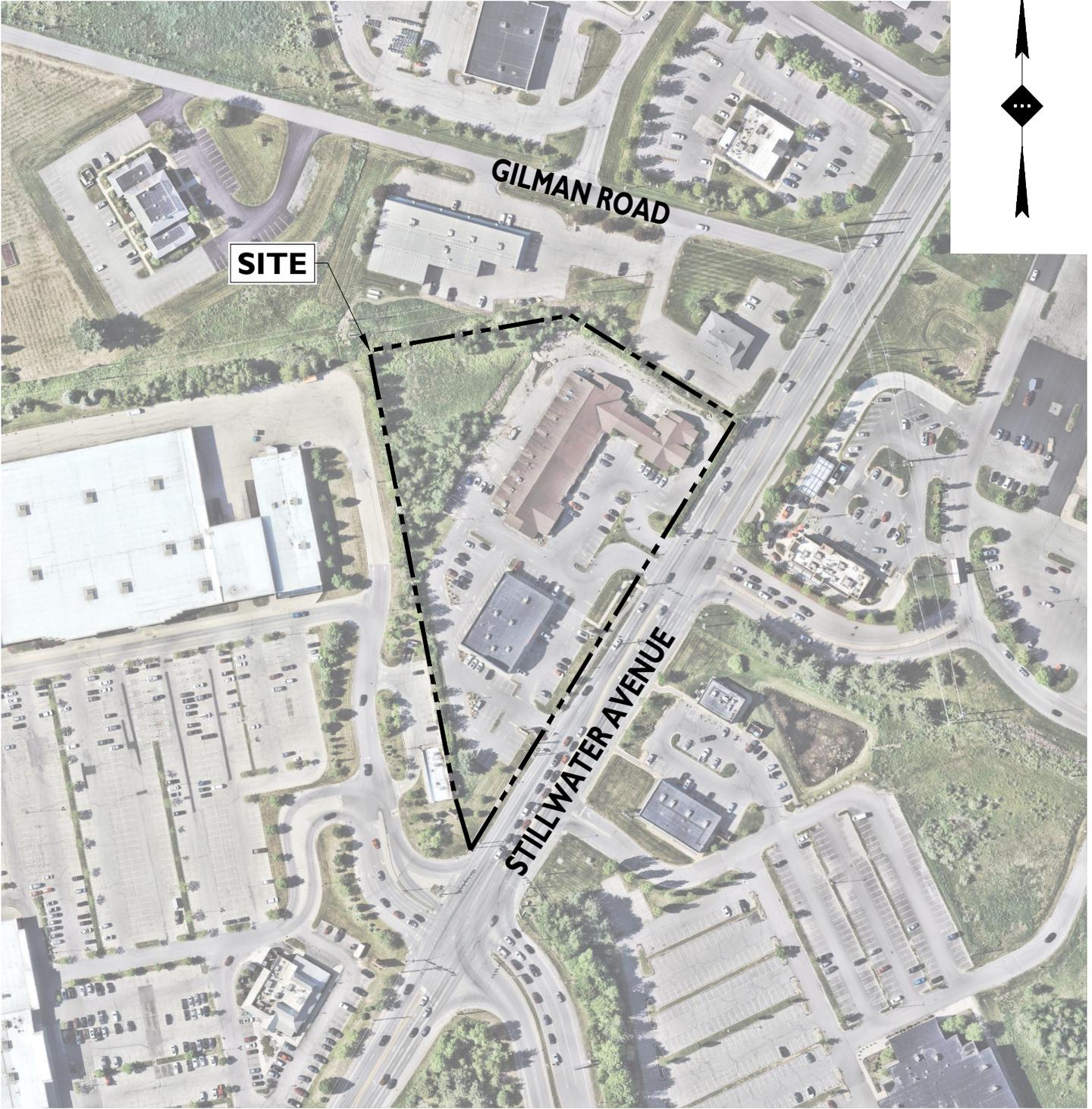


Joshua Kline, PE, PP

ME PE License No. 16648

Stonefield Engineering and Design, LLC

APPENDIX A
PROJECT MAPS
NRCS SOIL SURVEY
HYDROLOGIC CALCULATIONS AND ANALYSIS
DRAINAGE AREA MAPS



GRAPHIC SCALE IN FEET

1" = 200'

AERIAL MAP

SOURCE: AERIAL MAP RETRIEVED FROM NEARMAP OCTOBER 14, 2025

THE AVENUE DEVELOPMENT

PROPOSED PARKING LOT EXPANSION

MAP R62, LOT 1
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

DRAWN BY:	AB
CHECKED BY:	JK
DATE:	10/14/2025
SCALE:	1" = 200'
PROJECT ID:	BOS-220049



Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddeng.com

120 Washington Street Suite 120, Salem, MA 01970
Phone 617.203.2067



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

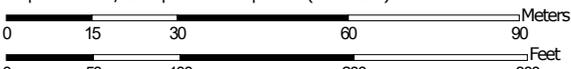
Custom Soil Resource Report for Penobscot County, Maine, Southern Part



Custom Soil Resource Report Soil Map



Map Scale: 1:1,320 if printed on a portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Penobscot County, Maine, Southern Part
 Survey Area Data: Version 10, Aug 26, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 11, 2021—Oct 29, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PuB	Pushaw-Swanville-Urban land association, 0 to 8 percent slopes	2.4	52.4%
UrB	Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes	2.2	47.6%
Totals for Area of Interest		4.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The

Custom Soil Resource Report

delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Penobscot County, Maine, Southern Part

PuB—Pushaw-Swanville-Urban land association, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 11s77
Elevation: 20 to 300 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Pushaw and similar soils: 35 percent
Swanville and similar soils: 30 percent
Urban land: 20 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Pushaw

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 7 inches: silt loam
Bw - 7 to 15 inches: silt loam
BCg - 15 to 18 inches: silt loam
C - 18 to 65 inches: silty clay loam

Properties and qualities

Slope: 3 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 6 to 17 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: C/D
Ecological site: F144BY401ME - Clay Flat
Hydric soil rating: No

Description of Swanville

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 6 inches: silt loam
Bg - 6 to 18 inches: silt loam
BCg - 18 to 24 inches: silt loam
C - 24 to 65 inches: silty clay loam

Properties and qualities

Slope: 0 to 5 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 10.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: D
Ecological site: F144BY001ME - Marine Terrace Flat, F144BY304ME - Wet Clay Flat, F144BY401ME - Clay Flat
Hydric soil rating: Yes

Description of Urban Land

Setting

Landform: — error in exists on —
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Minor Components

Telos

Percent of map unit: 5 percent
Landform: River valleys
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope

Custom Soil Resource Report

Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Anthroportic udorthents

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Boothbay

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope, backslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

UrB—Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: sw80
Elevation: 20 to 1,200 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 70 percent
Anthroportic udorthents and similar soils: 15 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Description of Anthropotic Udorthents

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy till

Typical profile

^A - 0 to 30 inches: silt loam
C - 30 to 65 inches: gravelly silt loam

Properties and qualities

Slope: 0 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to very high (0.01 to 99.90 in/hr)
Depth to water table: About 24 to 39 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: Moderate (about 7.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydrologic Soil Group: C
Ecological site: F144BY501ME - Loamy Slope (Northern Hardwoods)
Hydric soil rating: No

Minor Components

Tunbridge

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Base slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Pushaw

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Custom Soil Resource Report

Telos

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Swanville

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: F144BY001ME - Marine Terrace Flat
Hydric soil rating: Yes

Chesuncook

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No



Existing Undetained
Drainage to Stillwater
Avenue



Existing Drainage to
Catch Basin



Sheet Flow



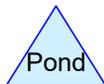
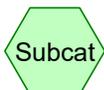
Proposed Drainage to
Bioretention Basin



Proposed Drainage to
Catch Basin



Bioretention Basin



Routing Diagram for 2025-08-26_HydroCAD
Prepared by Stonefield Engineering & Design, Printed 10/16/2025
HydroCAD® 10.20-6a s/n 10626 © 2024 HydroCAD Software Solutions LLC

Time span=0.00-72.00 hrs, dt=0.02 hrs, 3601 points
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv.
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentE-1: Existing Undetained Runoff Area=11,539 sf 85.74% Impervious Runoff Depth=2.28"
Tc=6.0 min CN=80/98 Runoff=0.77 cfs 2,196 cf

SubcatchmentE-2: Existing Drainage to Runoff Area=4,292 sf 90.21% Impervious Runoff Depth=2.35"
Tc=6.0 min CN=80/98 Runoff=0.29 cfs 840 cf

SubcatchmentP-1: Sheet Flow Runoff Area=5,670 sf 62.33% Impervious Runoff Depth=2.17"
Tc=6.0 min CN=89/98 Runoff=0.37 cfs 1,027 cf

SubcatchmentP-2: Proposed Drainage to Runoff Area=5,905 sf 71.09% Impervious Runoff Depth=2.07"
Tc=6.0 min CN=80/98 Runoff=0.36 cfs 1,019 cf

SubcatchmentP-3: Proposed Drainage to Runoff Area=4,256 sf 69.76% Impervious Runoff Depth=2.05"
Tc=6.0 min CN=80/98 Runoff=0.26 cfs 728 cf

Pond B-1: Bioretention Basin Peak Elev=134.00' Storage=103 cf Inflow=0.36 cfs 1,019 cf
15.0" Round Culvert n=0.010 L=25.0' S=0.0100 '/' Outflow=0.29 cfs 1,019 cf

Total Runoff Area = 31,662 sf Runoff Volume = 5,810 cf Average Runoff Depth = 2.20"
22.72% Pervious = 7,195 sf 77.28% Impervious = 24,467 sf

Summary for Subcatchment E-1: Existing Undetained Drainage to Stillwater Avenue

Runoff = 0.77 cfs @ 12.13 hrs, Volume= 2,196 cf, Depth= 2.28"

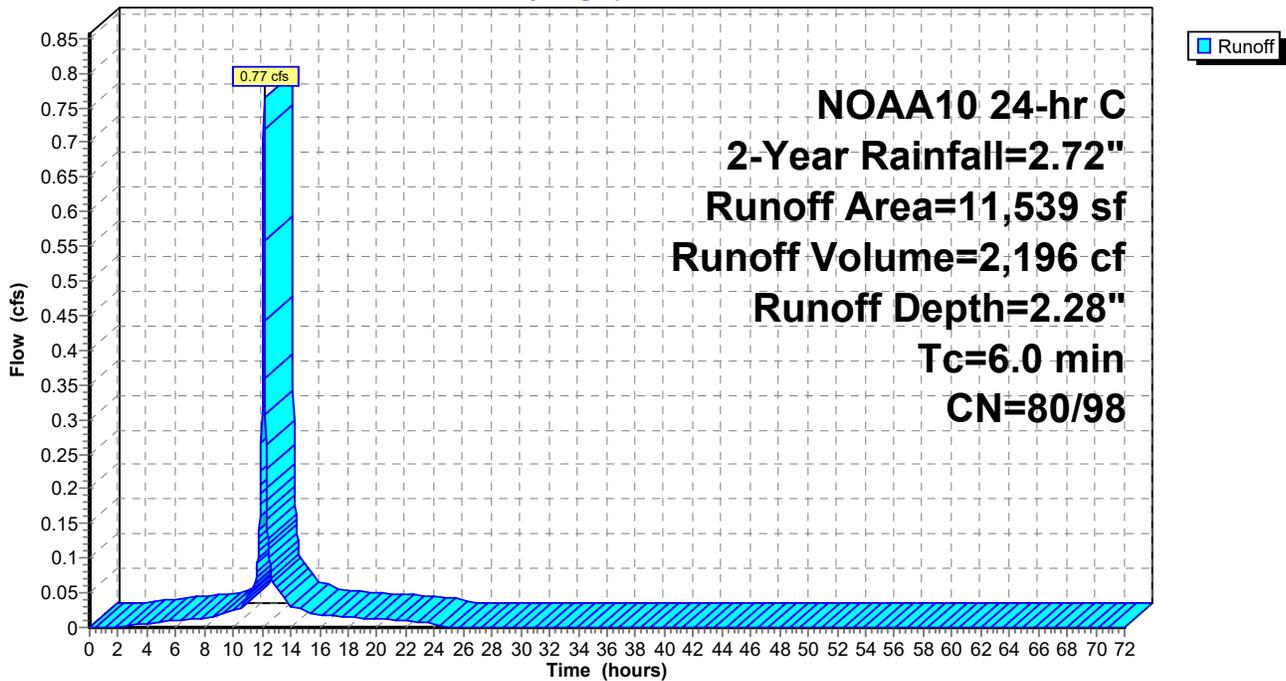
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
9,894	98	Paved parking, HSG D
1,645	80	>75% Grass cover, Good, HSG D
11,539	95	Weighted Average
1,645	80	14.26% Pervious Area
9,894	98	85.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment E-1: Existing Undetained Drainage to Stillwater Avenue

Hydrograph



Summary for Subcatchment E-2: Existing Drainage to Catch Basin

Runoff = 0.29 cfs @ 12.13 hrs, Volume= 840 cf, Depth= 2.35"

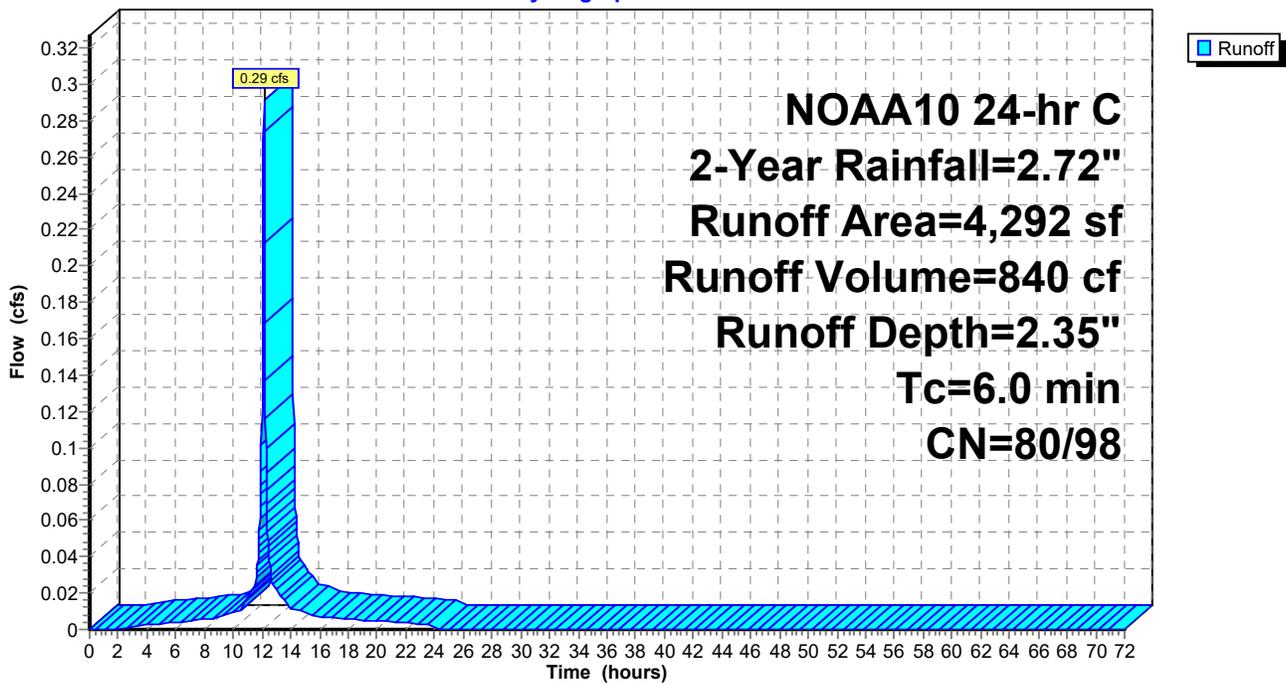
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
3,872	98	Paved parking, HSG D
420	80	>75% Grass cover, Good, HSG D
4,292	96	Weighted Average
420	80	9.79% Pervious Area
3,872	98	90.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment E-2: Existing Drainage to Catch Basin

Hydrograph



Summary for Subcatchment P-1: Sheet Flow

Runoff = 0.37 cfs @ 12.13 hrs, Volume= 1,027 cf, Depth= 2.17"

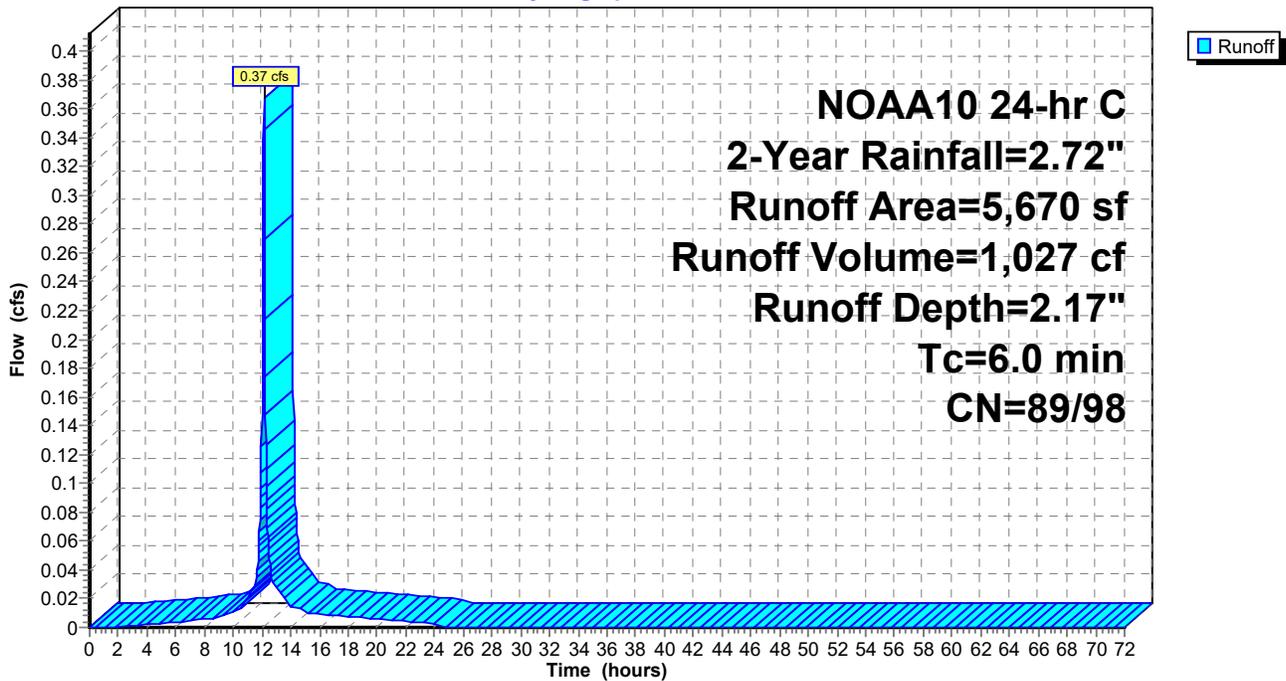
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
2,136	89	<50% Grass cover, Poor, HSG D
3,534	98	Paved parking, HSG D
5,670	95	Weighted Average
2,136	89	37.67% Pervious Area
3,534	98	62.33% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment P-1: Sheet Flow

Hydrograph



Summary for Subcatchment P-2: Proposed Drainage to Bioretention Basin

Runoff = 0.36 cfs @ 12.13 hrs, Volume= 1,019 cf, Depth= 2.07"
 Routed to Pond B-1 : Bioretention Basin

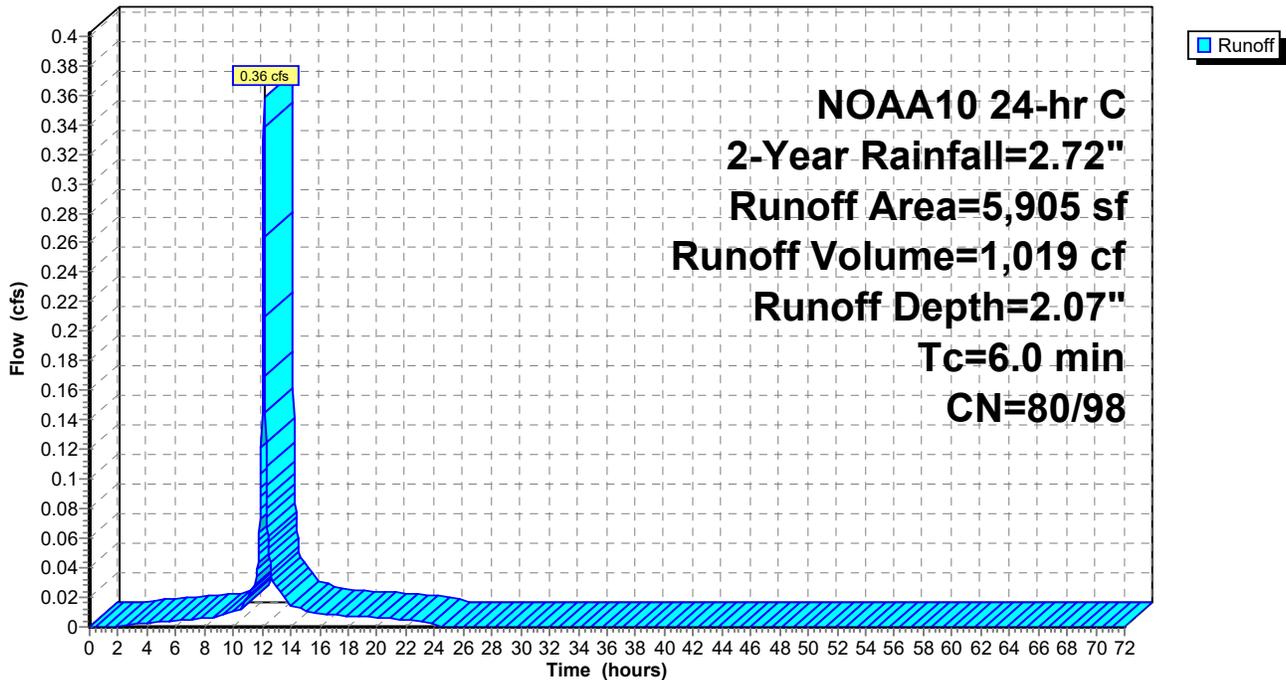
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
4,198	98	Paved parking, HSG D
1,707	80	>75% Grass cover, Good, HSG D
5,905	93	Weighted Average
1,707	80	28.91% Pervious Area
4,198	98	71.09% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment P-2: Proposed Drainage to Bioretention Basin

Hydrograph



Summary for Subcatchment P-3: Proposed Drainage to Catch Basin

Runoff = 0.26 cfs @ 12.13 hrs, Volume= 728 cf, Depth= 2.05"

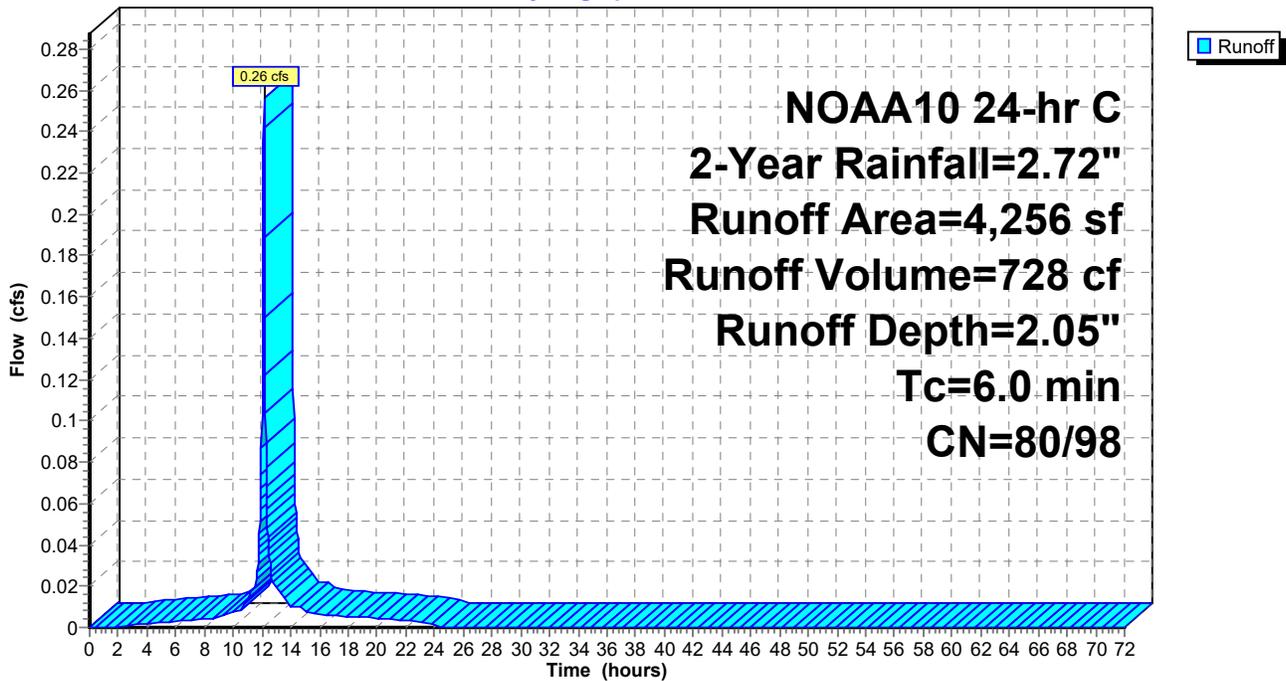
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
2,969	98	Paved parking, HSG D
1,287	80	>75% Grass cover, Good, HSG D
4,256	93	Weighted Average
1,287	80	30.24% Pervious Area
2,969	98	69.76% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment P-3: Proposed Drainage to Catch Basin

Hydrograph



Summary for Pond B-1: Bioretention Basin

Inflow Area = 5,905 sf, 71.09% Impervious, Inflow Depth = 2.07" for 2-Year event
 Inflow = 0.36 cfs @ 12.13 hrs, Volume= 1,019 cf
 Outflow = 0.29 cfs @ 12.17 hrs, Volume= 1,019 cf, Atten= 19%, Lag= 2.5 min
 Primary = 0.29 cfs @ 12.17 hrs, Volume= 1,019 cf

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 Peak Elev= 134.00' @ 12.17 hrs Surf.Area= 547 sf Storage= 103 cf

Plug-Flow detention time= 18.4 min calculated for 1,019 cf (100% of inflow)
 Center-of-Mass det. time= 18.7 min (796.9 - 778.2)

Volume	Invert	Avail.Storage	Storage Description			
#1	133.75'	281 cf	Aboveground Detention (Irregular) listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
133.75	296	167.1	0	0	296	
134.25	881	200.5	281	281	1,277	

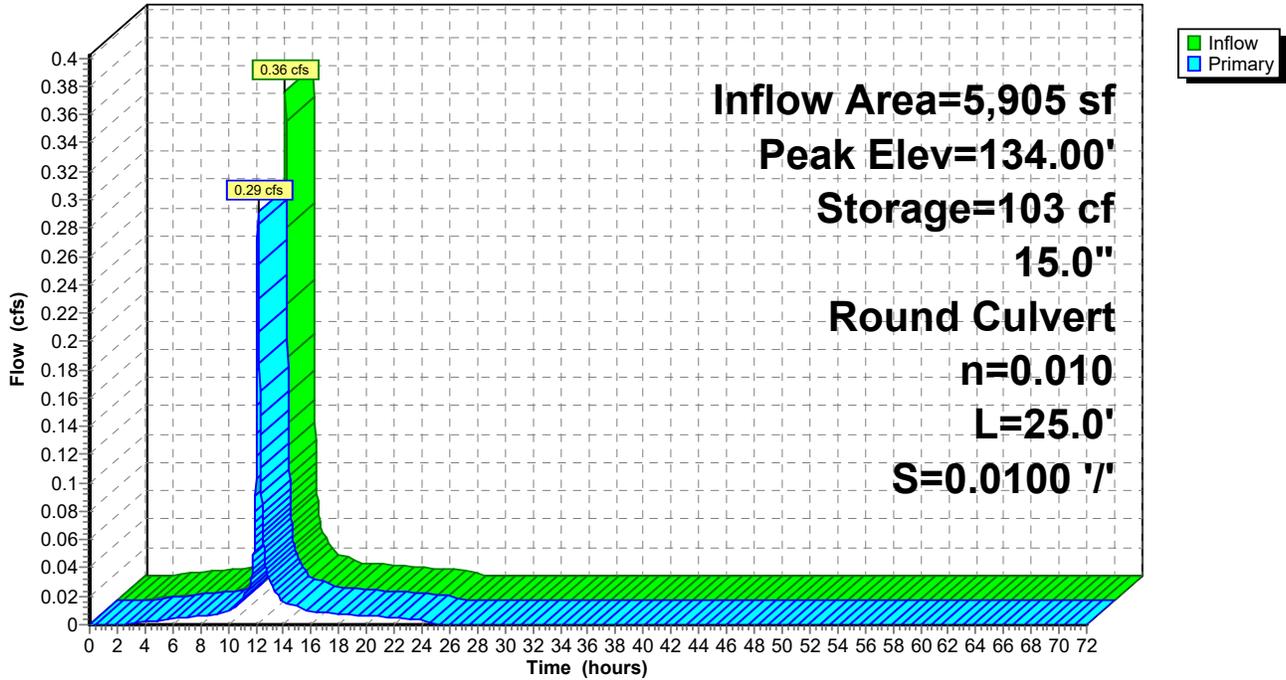
Device	Routing	Invert	Outlet Devices	
#1	Primary	133.75'	15.0" Round Culvert L= 25.0' Ke= 0.500 Inlet / Outlet Invert= 133.75' / 133.50' S= 0.0100 '/' Cc= 0.900 n= 0.010, Flow Area= 1.23 sf	

Primary OutFlow Max=0.29 cfs @ 12.17 hrs HW=134.00' (Free Discharge)

↑ **1=Culvert** (Inlet Controls 0.29 cfs @ 1.69 fps)

Pond B-1: Bioretention Basin

Hydrograph



SYMBOL

DESCRIPTION



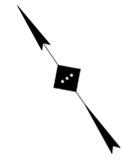
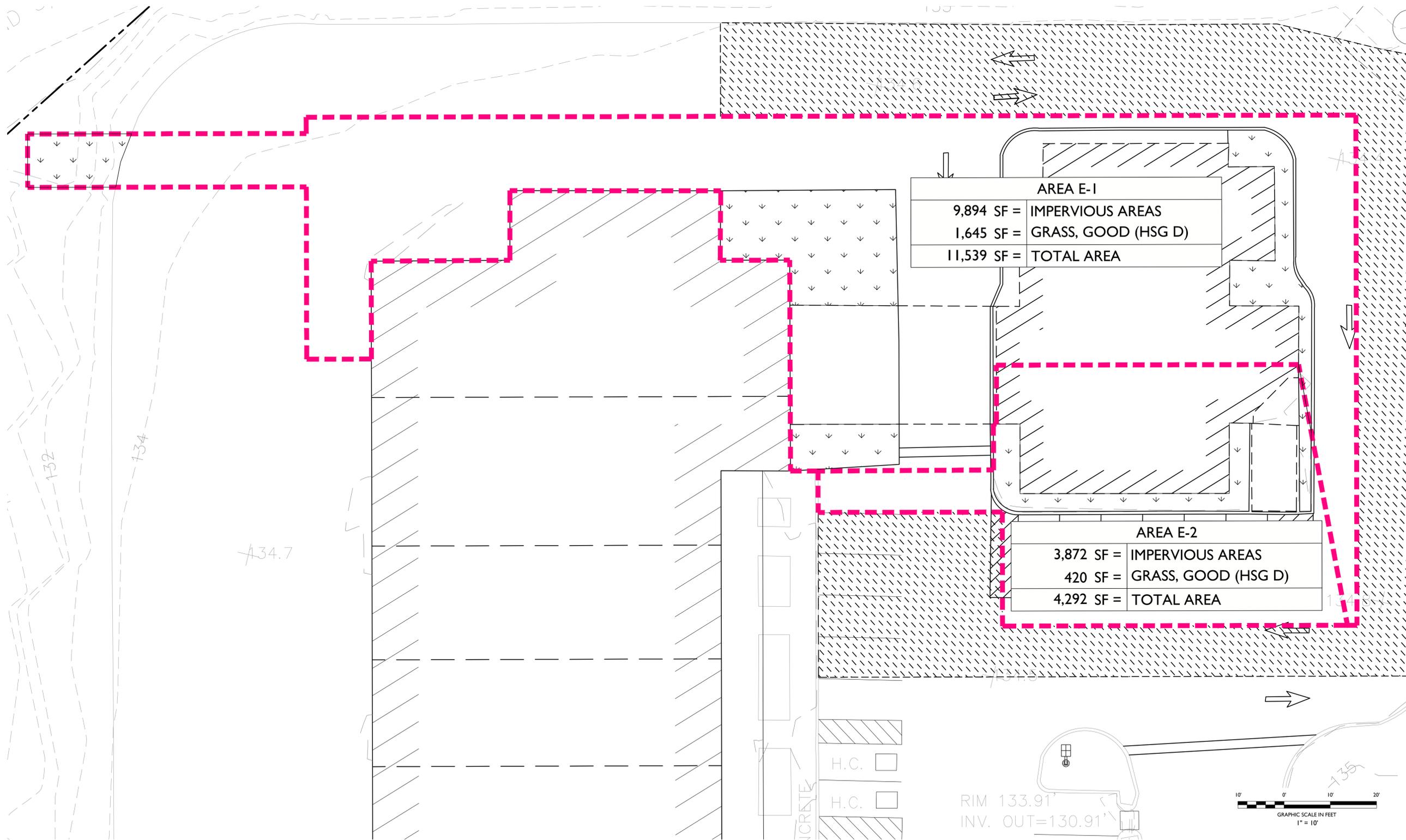
PROPERTY LINE



EXISTING DRAINAGE AREA



EXISTING PVIOUS AREA



ISSUE	DATE	BY	DESCRIPTION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 642, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: BOS-220049

TITLE:
**EXISTING DRAINAGE
AREA MAP**

DRAWING:

1 OF 2

2:007014802502220049.AJL.G - 253115LWATEL.BANGOR.HICAD001.DRAINAGE AREA MAP.DWG

SYMBOL

DESCRIPTION



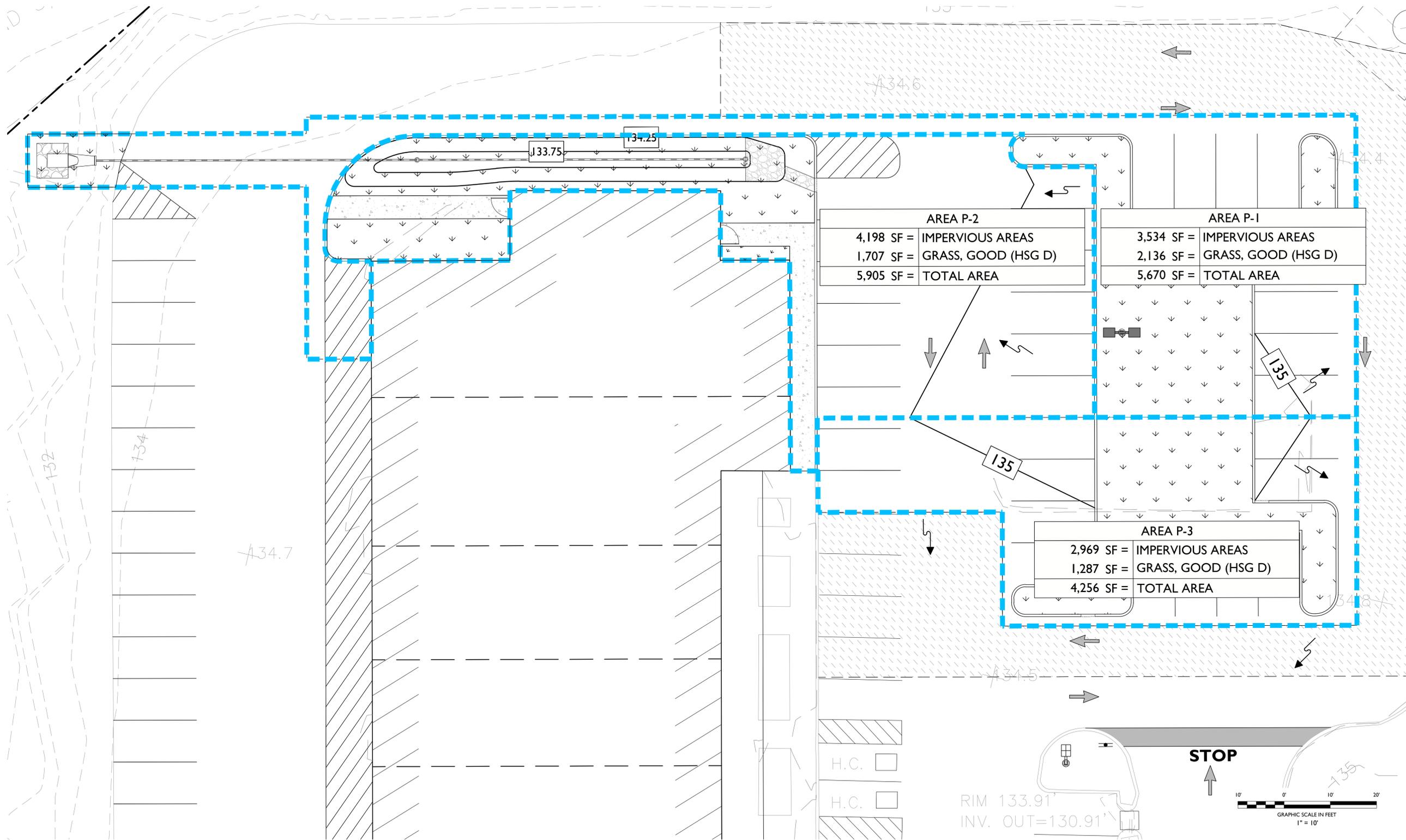
PROPERTY LINE



PROPOSED DRAINAGE AREA



PROPOSED PERVIOUS AREA



ISSUE	DATE	BY	DESCRIPTION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: BOS-220049

TITLE:
**PROPOSED DRAINAGE
AREA MAP**

DRAWING:



DEPARTMENT OF ENVIRONMENTAL PROTECTION
STORMWATER APPLICATION CHECKLIST

Applicant:		
Project Name:		
Town:		
Application Type:	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Site Law
Watershed Name:		
Watershed Type:	<input type="checkbox"/> UIS	<input type="checkbox"/> Phosphorus <input type="checkbox"/> Neither

Project Area Information

	Existing to Remain ¹	New / Proposed	Total
Impervious (Im)			
Landscaped (Land)			
Developed (Dev) ²			

1- If area is not subject to treatment, provide reason and show in a separate column in the Water Quality Calc table.
 2- Developed area = Impervious Area + Landscaped Area

A. BASIC STANDARD

1. Erosion and Sedimentation Controls (Appendix A, page 32 of Chapter 500:

<https://www.maine.gov/sos/cec/rules/06/096/096c500.docx>)

- Guidance in Department [ESC BMP Manuals](#)

2. Inspection & Maintenance (Appendix B, page 37 of Chapter 500)

Construction Phase: Show on Plans the following:

- Responsibility for inspection and maintenance
- Construction schedule (how long will it take and in what sequence/critical path to build)
- Inspection frequency
- Scope of inspection
- Inspector qualifications
- Define storm event that triggers a wet weather inspection (0.5” of rain in 24 hours)
- Documentation (3 years minimum)

Post-Construction: Include in written I&M Plan the following:

- Responsibility for inspection and maintenance
- Inspection frequency for each BMP
- Inspection form for each BMP
- Inspector qualifications
- Define storm event that triggers a wet weather inspection (1” of rain in 24 hours)
- Documentation (5 years, minimum)
- Project is subject to Department 5-Year Recertification

3. Good Housekeeping (Appendix C, page 41 of Chapter 500)

- Show all seven elements on Plans.

B. GENERAL STANDARD

Must provide the following on WQ Treatment Plan: All BMPs with subcatchments including time of concentration (Tc) lines, flow lengths and flow types.

1. Soil Explorations (test pit completed by a certified soil scientist) at each proposed BMP

- Include test pit summary table on detail plan.
- If there is potential ledge, address in design.
- If shallow groundwater, address in design.

2. Treatment Standards (modify to fit project): Fill out the following table for the applicable standards that apply.

Applicable Standard	Section in Ch. 500	Required Treatment (Im / Dev)	Area Eligible		Area Treated		Provided Treatment %	
			Im	Dev	Im	Dev	Im	Dev
General Standard	4(C)(2)(a)(i)	95% / 80%						
Increased Runoff Treated ¹	4(C)(2)(a)(ii)	90% / 80% min						
% Parcel Developed ²	4(C)(2)(a)(iii)	90% / 75% min						
Redevelopment ³ (Dev Area)	4(C)(2)(d)	0% min (SW) 50% min (Site)						
Linear	4(C)(5)(c)	75% / 50% min						
Other: Offsite Treatment/Mitigation								
Project Total Area =								

1- If proposing to treat more than the first flush, state why meeting Ch. 500, § 4(C)(2)(a)(i) is not practicable.

2- Reduced % based on portion of parcel developed.

3- Include pollutant impact ranking calculations (current and proposed) and a figure showing the Redevelopment window.

3. Proposed BMPs: Please provide the following information on the Table below for EACH BMP.

BMPs Proposed	#	Pretreatment	Sizing calcs	Detail on Plans ¹	CPV Draindown Time	HydroCAD

1- BMP details (cross sections, elevation sections, plan view)

Link to Stormwater Design BMP Volumes I, II, III

<https://www.maine.gov/dep/land/stormwater/stormwaterbmps/index.html>

- Provide Construction Oversight Notes.
- If BMP is unlined, review and satisfy (Appendix E Sections 4(b) and 4(c), page 50 of Chapter 500).
- Treatment buffers (Appendix F, page 56 of Chapter 500): must provide sample deed restriction (Appendix G, page 64 of Chapter 500).
- Infiltration must satisfy Appendix D, page 44 of Chapter 500.
- Is conveyance designed to a 10-year, 24-hour storm?
- Is a drainage easement required for any areas to be flooded?
- Discharge to a public storm sewer system: Must provide authorization from the authority.

If proposing Proprietary BMPs, provide:

- Letter from vendor approving sizing and siting
<https://www.maine.gov/dep/land/stormwater/stormwaterbmps/index.html>.
- Executed 5-Year I&M Agreement with a provider approved by vendor.
- Narrative section and specific inspection forms in the written I&M Plan.
- Pervious pavement: Must provide Executed 5-Year I&M Agreement and vacuum equipment used.

C. PHOSPHORUS STANDARD

MUST provide on the WQ Treatment Plan: BMPs with subcatchments including time of concentration (Tc) lines, flow lengths and flow types;

Provide export calculations clearly showing distinct BMPs: Phosphorus Table Calculations
[Worksheet 4 july 2015.xlsx](#).

D. FLOODING STANDARD

1. Add pre- and post- peak flow rates table to post development plan for storms (2-, 10-, 25-year).
2. Is primary access road passable up to a 25-year, 24-hour storm?
3. If requesting a waiver of the Flooding Standard, must state justification for the waiver.
4. HydroCad or other runoff model
 - If post peak flow rate is > pre-peak flow, a waiver request will be needed with justification Ch. 500, § 4(F)(3)(a) or (b),
 - If discharging to wetland see Chap. 500, § 4(I).

This checklist has been designed by DEP stormwater engineers as a guidance tool to assist applicants and their consultants when preparing stormwater applications. Completing the checklist is recommended and valuable, but it is not a substitute for reviewing Ch. 500, and completing all the items on the checklist does not automatically mean all the Ch. 500 requirements have been satisfied. The contents of Ch. 500 should be reviewed carefully for the applicable requirements that apply to your proposed project.

I have reviewed this checklist and included in my submission all the required elements of this checklist that apply to the proposed project.

Maine Engineer of Record:



Signature

Date

Name (print)

STONEFIELD

OPERATIONS & MAINTENANCE MANUAL

PROPOSED PARKING LOT EXPANSION
LOT R62-001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

PREPARED IN ACCORDANCE WITH:
MEDEP STORMWATER MANAGEMENT DESIGN MANUAL

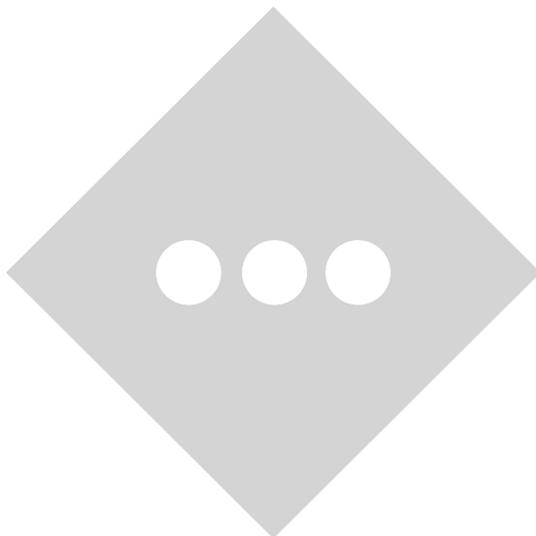
PREPARED FOR:
BANGOR RETAIL MANAGEMENT, LLC

PREPARED BY:
STONEFIELD ENGINEERING & DESIGN

REPORT DATE:
SEPTEMBER 21, 2022
REVISED: DECEMBER 5, 2025



JOSHUA KLINE, PE
ME PE LICENSE # 16648



REPORT CONTENTS

1.0 PROJECT DESCRIPTION 1

2.0 STORMWATER MANAGEMENT OPERATIONAL PROCEDURES 1

 2.1 MAINTENANCE EQUIPMENT AND PERSONNEL..... 2

 2.2 MAINTENANCE ACCESS POINTS 2

3.0 STORMWATER BMP INVENTORY 2

 3.1 MAINTENANCE..... 2

4.0 STORMWATER BMP PREVENTATIVE MAINTENANCE ACTIONS 3

 4.1 ABOVE-GROUND BIORETENTION AREA..... 3

 4.2 POST-CONSTRUCTION MEASURES 4

5.0 ANNUAL EVALUATION OF THE EFFECTIVENESS OF THE PLAN..... 5

APPENDICIES

PROJECT PLANS..... A

 SITE PLAN A-1

 DRAINAGE PLAN..... A-2

 LANDSCAPING PLAN A-3

INSPECTION CHECKLISTS B

 INSPECTION AND MAINTENANCE LOG - OBSERVED..... B-1

 INSPECTION AND MAINTENANCE LOG - CORRECTED B-2

 ANNUAL EVALUATION RECORDS..... B-3

1.0 PROJECT DESCRIPTION

The subject property is designated as Map R62, Lot 01, commonly known as 570 Stillwater Avenue, Bangor, Maine. Bangor Retail Management, LLC is proposing the partial demolition of a building for an expanded parking area and additional landscaping. Please note that under the proposed parking lot expansion, the existing access would be maintained and the commercial building footprint would be marginally reduced. Additional improvements include utility upgrades, landscaping, site lighting, and a stormwater conveyance and treatment system.

The redevelopment property is within the Shopping and Personal Service (S&PS). The proposed development has commercial developments surrounding the subject site to the north, east, south, and west. Access to the subject property is proposed via one (1) full movement access, and one (1) ingress only, and one (1) egress only driveway along Stillwater Avenue.

This Operations & Maintenance Manual has been prepared to inform the landowner and contractor of the measures to be implemented for controlling runoff and pollutants from the site after construction activities. This plan proposes to conform to the requirements set forth by the City of Bangor, the Maine Department of Environmental Protection (MEDEP) Standards, and the Maine Soil Erosion and Sediment Control Best Management Practices Manual for Designers and Engineers.

2.0 STORMWATER MANAGEMENT OPERATIONAL PROCEDURES

Operation and maintenance of the permanent stormwater control BMPs shall be the responsibility of the operator of the project site at the time that the applicable maintenance is required. The current owner and responsible agent of the project is:

Bangor Retail Management, LLC

[REDACTED]
[REDACTED]
[REDACTED]

A copy of this report shall be kept on-site at all times both during and after construction. Upon reviewing agency approval, the title and date of the maintenance plan as well as the contact information of the current agent responsible for maintaining the stormwater management measures for the project shall be recorded on the deed of the property on which the measures are located. Any future change in this information such as change in property ownership shall also be recorded on the deed.

The current responsible agent shall evaluate the maintenance plan for effectiveness at least annually and revise the plan as necessary. A detailed, written log of all preventative and corrective maintenance performed for each stormwater management measure must be kept, including a record of all inspections and copies of maintenance-related work orders. Upon request from a public entity with jurisdiction over the project area the responsible agent shall make available the maintenance plan and associate logs and other records for review.

2.1 MAINTENANCE EQUIPMENT AND PERSONNEL

The current responsible agent shall ensure that adequate equipment and training is provided to maintenance personnel to perform the required maintenance tasks. Confined Space Entry Certification shall be required by personnel entering underground structures and pipes. The material and equipment necessary for inspection and maintenance activities shall include, but not be limited to, the following:

- ◆ *Landscape Areas:* Material and equipment customary in landscape maintenance practices.
- ◆ *Bioretention Area:* Instruments to perform visual inspection of vegetative health, equipment to pump stormwater from the basin in the event of maintenance, vacuum truck and hose for removal of sediment from basin bottom, and necessary safety equipment.

2.2 MAINTENANCE ACCESS POINTS

Subsurface access to the storm drain system is provided via inlets located within the parking areas, and access to the above ground bioretention system is provided via the parking area as indicated on Sheet C-5 of the Site Plans, prepared by Stonefield Engineering & Design, LLC. Reduced sheets (not to scale) can be found in the Appendix of this Manual.

3.0 STORMWATER BMP INVENTORY

The stormwater management measures incorporated into this development are listed below. The corresponding Field Manuals for the stormwater management measures are located in the Appendix of the Maintenance Plan.

3.1 MAINTENANCE

The following general maintenance tasks shall be performed:

- I. All stormwater inlets and manholes shall be inspected for debris and sediment accumulation and structural integrity at least four (4) times annually. Debris and sediment removal shall be scheduled as required to

maintain stormwater runoff conveyance efficiency and disposed of in compliance with all applicable local, state, and federal waste regulations.

2. Bioretention Area – Ensure that the flow is dispersed evenly throughout the BMP, inlet pipes are functioning as expected, there are no signs of erosion and rutting on the side slopes, the filter fabric is still functioning as designed. vegetation is well established without invasive species present, standing water is not present within the infiltration BMP 72 hours after a rain event, there are no signs of illicit discharges or vandalism, snow storage has no impact on the BMP area, and evaluate the level of sedimentation and trash accumulation for acceptable levels.
3. Trash receptacles onsite shall be emptied, and their liners replaced at a minimum of three (3) times per week.
4. Landscaping within the developed portions of the site shall be trimmed/mowed twice (2) monthly during the growing season. Reforested portions of the site shall be left undisturbed to vegetate naturally.

4.0 STORMWATER BMP PREVENTATIVE MAINTENANCE ACTIONS

4.1 ABOVE-GROUND BIORETENTION AREA

All bioretention components which receive, or discharge stormwater must be checked for trapped debris and sediment accumulation at least four (4) times annually as well as after storm events exceeding one (1) inch of precipitation. These components include: the outlet structure, the bioretention bottom, curb cuts, rip rap aprons, flared end sections, and trash racks. Sediment removal shall take place when the bioretention area is completely dry. Disposal of debris and sediment shall be done in compliance with all applicable local, state, and federal waste regulations.

The follow actions shall be performed annually for the bio-retention area:

- a) Mulching – Add mulch every spring to maintain a three-inch mulch layer on your rain garden. The mulch should prohibit most, if not all, weed growth. Any weeds that do succeed in growing should be easy to remove because they will have shallow roots. In addition to limiting weed seed germination, mulching also prevents the loss of soil through erosion. Remember that triple shredded hardwood mulch with no dye is preferred for rain gardens.
- b) Pruning – Each spring, prune dead vegetation, deadhead flowers, and cut back tattered or unwieldy plants. This will encourage dense, new growth and improve the rain garden's filtering capacity.

Remember that stems and seed heads can be left on the plants for winter interest, wildlife cover, and food for birds.

- c) Replanting – Remove or replace plant material that is not thriving. Consider planting more of a particularly successful species.

- d) Sediment Removal – Bioretention areas may accumulate sediment, particularly if it collects runoff from a driveway or a road. This is a sign of success; however, occasionally use a flat shovel to remove any excess sediment, leaves, or debris. Be cautious particularly of any buildup occurring near the water inlet of the rain garden, especially if your rain garden is located next to a driveway or road and you notice sand in the buildup. A grass buffer, near the rain garden’s inlet and between the rain garden and the road, will prevent road sand, salt, and sediment from entering your rain garden. A small rock bed at the inlet will function similarly. The debris in the water will drop out along the grass strip or rock bed, making it easier to clean your rain garden.

- e) Additional Steps – Additional maintenance includes seed collection and taking cuttings from successful plants, planting more of a particularly successful species, re-seeding the berm if necessary, replacing rocks that may be diverting flow out of the garden, and building up areas where more protection is needed to prevent erosion. After installation, if the rain garden is not infiltrating at the desired rate, make holes using an augur in the rain garden and fill these holes with coarse sand.

As per the MEDEP Stormwater Management Requirements – Chapter 500, Appendix B, preventative and corrective maintenance shall be performed to maintain the function of the stormwater management measure. A person with knowledge of erosion and stormwater control in the state of Maine, including the standards and conditions of the permit, shall conduct the inspections.

4.2 POST-CONSTRUCTION MEASURES

In addition to the BMP maintenance aforementioned, the following need to be performed:

- I. **Vegetated Areas** – To be inspected early in the growing season or after heavy rains, particularly at slopes and embankments, for active or potential erosion problems. Bare areas or areas of sparse growth shall be replanted. If rill erosion is evident, appropriate lining shall be installed or erosive flows shall be diverted to onsite areas able to accommodate concentrated flows.

2. **Winter Sand** – Accumulations of winter sand shall be removed from parking lots and along roadways once a year in the spring. Accumulation of winter sand on pavement shall be removed by pavement sweeping.

3. **Native Vegetation** – The native vegetation located around the Penjajawoc Marsh shall be inspected for any disease. If disease is found new native vegetation is to be planted and the Penjajawoc Marsh Bangor Mall Management Commission is to be notified of the disease.

5.0 ANNUAL EVALUATION OF THE EFFECTIVENESS OF THE PLAN

The responsible party should evaluate the effectiveness of the maintenance plan by comparing the maintenance plan with the actual performance of the maintenance. The items to evaluate may include, but not limited to,

- Whether the inspections have been performed as scheduled;
- Whether the preventive maintenance has been performed as scheduled;
- Whether the frequency of preventative maintenance needs to increase or decrease;
- Whether the repairs were completed on time;
- Whether the inspection, maintenance, and repair records have been kept.

If actual performance of those items has been deviated from the maintenance plan, the responsible party should find the causes and implement solutions in a revised maintenance plan.

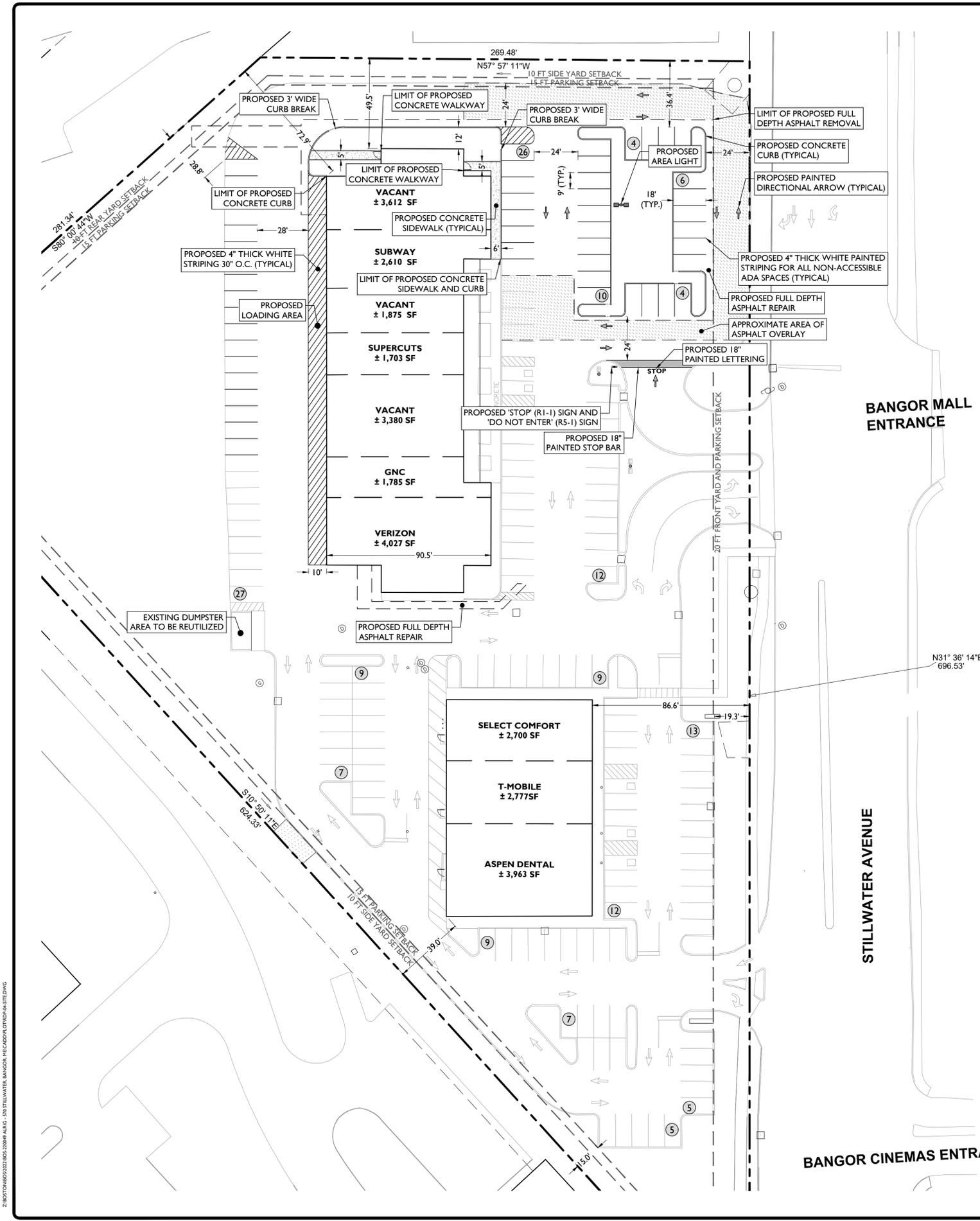
APPENDIX A
PROJECT PLANS (NOT TO SCALE)

INVENTORY

SITE PLAN

DRAINAGE PLAN

LANDSCAPING PLAN



LAND USE AND ZONING				
MAP R62, LOT 001				
SHOPPING AND PERSONAL SERVICE (S&PS)				
PENJAWOC MARSH OVERLAY ZONE				
PROPOSED USE NO CHANGE IN PROPOSED USE				
ZONING REQUIREMENT	REQUIRED	EXISTING	PREVIOUSLY APPROVED (2017)	PROPOSED
MINIMUM LOT AREA	10,000 SF (0.45 AC)	195,280 SF (4.48 AC)	195,280 SF (4.48 AC)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	698.3 FT	698.3 FT	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE RATIO	0.70 (136,696 SF)	0.67 (131,158 SF)	0.63 (122,606 SF)	0.66 (129,714 SF)
MAXIMUM LOT COVERAGE	25.0% (48,820 SF)	16.6% (32,439 SF)	20.0% (39,060 SF)	14.6% (28,432 SF)
MAXIMUM BUILDING HEIGHT	40 FT	< 40 FT	< 40 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	20 FT	32.5 FT	87.0 FT	86.6 FT
MINIMUM SIDE YARD SETBACK	10 FT	38.8 FT	39.3 FT	39.0 FT
MINIMUM REAR YARD SETBACK	10 FT	72.9 FT	72.9 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.6	0.20 (39,060 SF)	0.20 (39,060)	0.15 (28,432 SF)
MINIMUM PARKING SETBACK (STREET LINE)	20 FT	19.3 FT	20 FT	19.3 FT
MINIMUM PARKING SETBACK (SIDE & REAR LOT LINE)	15 FT	15 FT	15 FT	15 FT

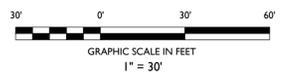
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-72S	ADA PARKING: TOTAL PARKING SPACES: 165 SPACES REQUIRED MINIMUM OF HANDICAPPED ACCESSIBLE SPACES: 6 SPACES	6 SPACES
§ 165-73.D.2	BUFFER REQUIREMENTS: ALL PARKING LOTS FRONTING ON A PUBLIC STREET OR PRIVATE WAY SHALL HAVE AN E BUFFER YARD ALONG THE STREET RIGHT-OF-WAY	COMPLIES
§ 165-74.A	PARKING SPACE SIZE: 90° PARKING: 9 FT X 18 FT W/ 24 FT AISLES	9 FT X 18 FT W/ 24 FT AISLES
§ 165-74.B	LANDSCAPING ISLANDS: MINIMUM WIDTH BETWEEN ROWS: 5 FT MINIMUM WIDTH AT END OF ROWS: 4 FT	N/A 4 FT
§ 165-76	SERVICE: 1 SPACE FOR 1,000 SF TO 25,000 SF 1 SPACE REQUIRED	
§ 165-77	DIMENSIONS: LESS THAN 10,000 SF OF GFA MINIMUM LENGTH: 25 FT MINIMUM WIDTH: 10 FT MINIMUM CLEARANCE: 10 FT	WILL OCCUR DURING OFF PEAK HOURS

TOTAL OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED (*)	PROPOSED (**)
§ 165-72	FURNITURE STORE: FIRST 2,000 SF - 1 SPACE PER 300 SF (2,000 SF) / (300 SF) = 7 SPACES 2,000 SF AND UP - 1 SPACE PER 600 SF (700 SF) / (600 SF) = 2 SPACES DENTAL OFFICE: 1 SPACE PER 200 SF OF FLOOR AREA (3,963 SF) / (200 SF) = 20 SPACES RETAIL STORE & SERVICE BUSINESS: 1 SPACE PER 300 SF OF FLOOR AREA (10,292 SF) / (300 SF) = 35 SPACES DRIVE-IN BUSINESS SERVING FOOD: 1 SPACE PER 200 SF OF SEATING AREA (2,610 SF) * (1/200 SF) = 14 SPACES VACANT: 1 SPACE PER 200 SF OF FLOOR AREA (8,867 SF) / (200 SF) = 45 SPACES TOTAL SPACES REQUIRED: 9 + 20 + 35 + 14 + 45 = 123 SPACES	165 SPACES

(*) REQUIRED NUMBER OF SPACES FOR THE VACANT BUILDING AREA WERE CALCULATED USING GENERAL RESTAURANT REQUIREMENTS
 (**) PROPOSED NUMBERS WERE CALCULATED FROM AN ACCUMULATION OF THE EXISTING AND PROPOSED SITE DESIGN.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
- · - · -	SAWCUT LINE
---	PROPOSED CURB
□	PROPOSED CONCRETE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	DATE	BY	DESCRIPTION
02	01	00	12/01/2025	GHC	
			10/06/2025	AB	
			07/18/2025	AB	
					ISSUE

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

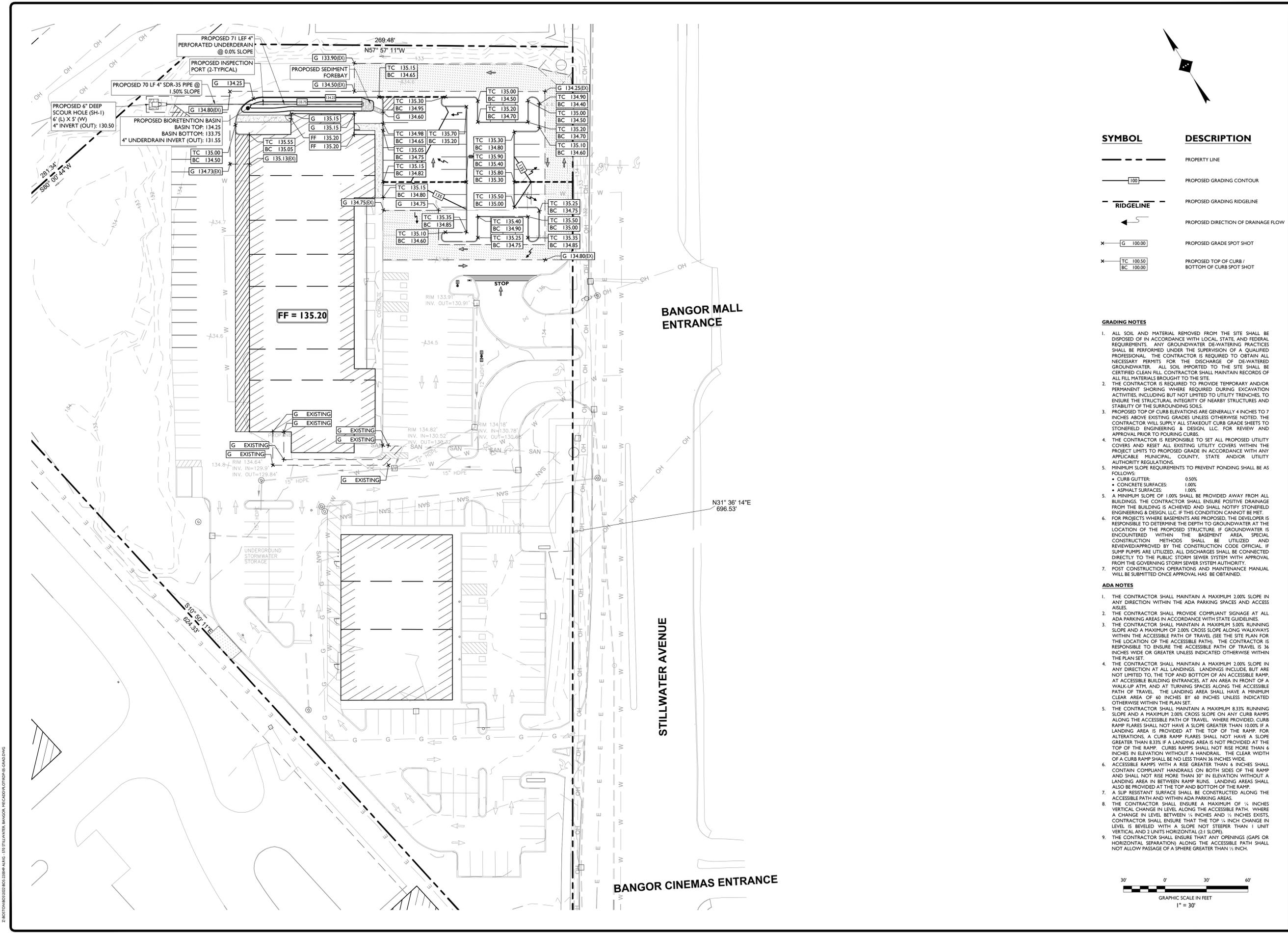
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
SITE PLAN

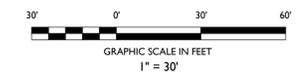
DRAWING:
C-4

Z:\PROJECTS\2025\220049-AUG-15\31 STILLWATER BANGOR-116CAD\DWG\LOT001-14-11-25.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
— RIDGELINE —	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
x G 100.00	PROPOSED GRADE SPOT SHOT
x TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SLUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
 - POST CONSTRUCTION OPERATIONS AND MAINTENANCE MANUAL WILL BE SUBMITTED ONCE APPROVAL HAS BEEN OBTAINED.
- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	DATE	BY	DESCRIPTION
02	12/01/2025	GHC			
01	10/06/2025	AB			
00	07/18/2025	AB			
			ISSUE		

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

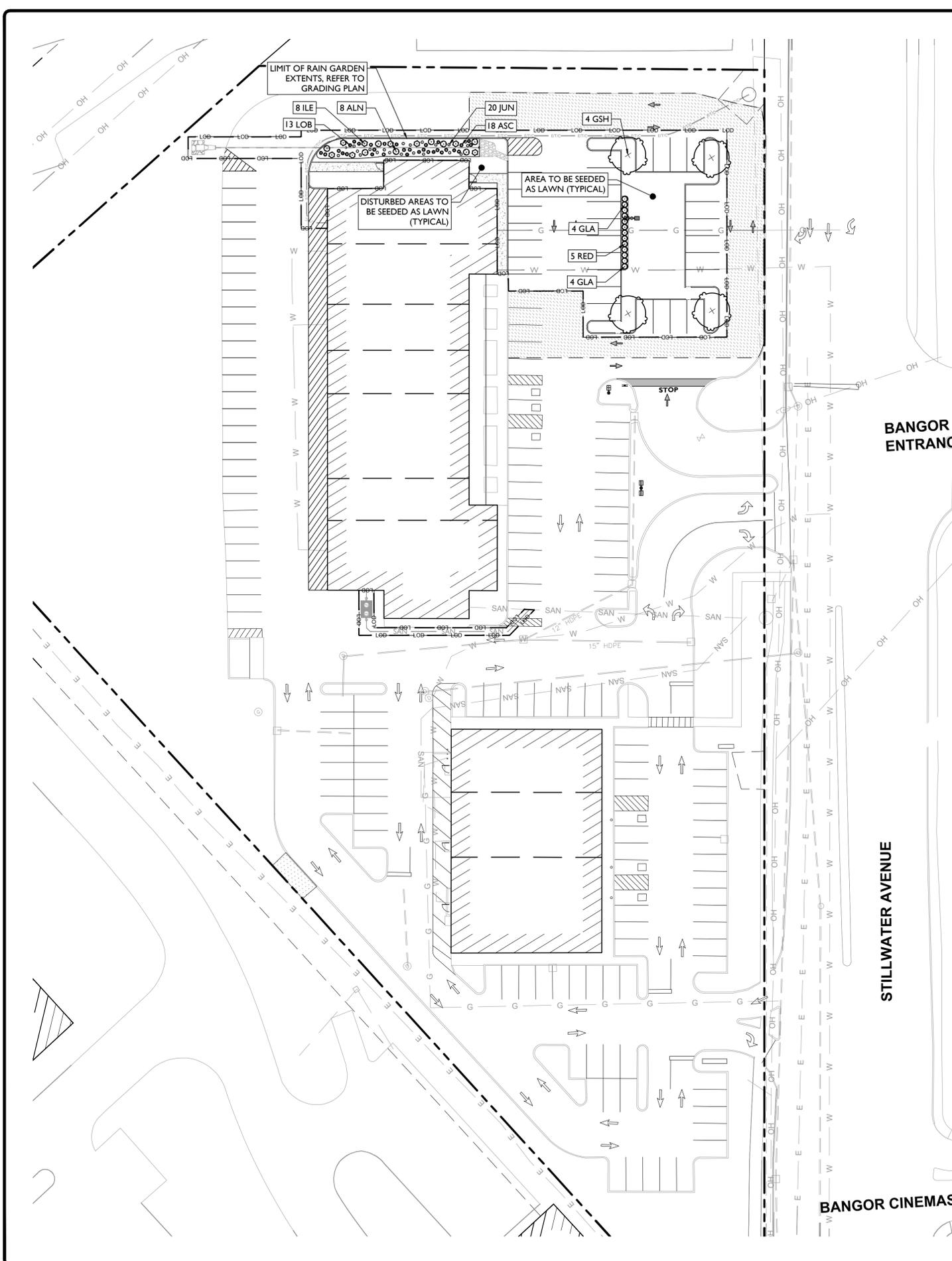
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
**GRADING & DRAINAGE
PLAN**

DRAWING:
C-5

Z:\PROJECTS\2025\220049\AUG - 25\STILLWATER\BANGOR\HICADD\CTD\FDR\06-GRADING.dwg



LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-73.D(2)	SCREENING REQUIREMENTS: PARKING LOTS FRONTING A PUBLIC STREET ARE SUBJECT TO TYPE "E" BUFFER REQUIREMENTS	DOES NOT COMPLY (EN)
ATTACHMENT I	BUFFER E SHALL BE LANDSCAPED EQUAL TO SETBACK REQUIREMENT	DOES NOT COMPLY (EN)
§ 165-74.D(7)(a)	INTERIOR PARKING LOT REQUIREMENTS: PARKING LOT GREEN SPACE 5% REQUIRED (11,810 SF) ⁽¹⁾ x (0.05) = 591 SF SHADE TREES: 1 PER 10 SPACES (32 SPACES) ⁽¹⁾ / (1 TREE / 10 SPACES) = 4 TREES SHRUBS: 4 PER 10 SPACES (32 SPACES) ⁽¹⁾ / (4 TREES / 10 SPACES) = 13 SHRUBS NO LESS THAN 50% OF THE INTERIOR SHRUBS SHALL BE EVERGREEN	3,187 SF (27%) 4 TREES 13 SHRUBS COMPLIES
§ 165-74.D(7)(b)		

(EN) EXISTING NONCONFORMITY
(1) CALCULATION ONLY INCLUDES THE PORTION OF PAVED PARKING PROPOSED

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
DECIDUOUS TREES							
(X)	GSH	4	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE (VARIETY)
SHRUBS							
(R)	RED	5	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24"	POT	NATIVE
EVERGREEN SHRUBS							
(G)	GLA	8	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT	NATIVE
RAIN GARDEN PLANTINGS							
(A)	ASC	18	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1 GAL.	POT	NATIVE
(L)	ALN	8	CLETHRA ALNIFOLIA 'CRYSTALINA'	SUGARTINA® SUMMERSWEET	1 GAL.	POT	NATIVE (VARIETY)
(S)	ILE	8	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	1 GAL.	POT	NATIVE (VARIETY)
(J)	JUN	20	JUNCUS EFFUSUS	SOFT RUSH	1 GAL.	POT	NATIVE
(B)	LOB	13	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL.	POT	NATIVE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

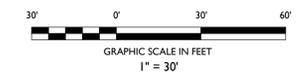


Know what's below
Call before you dig.

IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



DATE	BY	DESCRIPTION
12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
07/18/2025	AB	FOR MUNICIPAL SUBMISSION
		ISSUE

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

STONEFIELD
engineering & design

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
LANDSCAPING PLAN

DRAWING:
C-9

Z:\BOSTON\BOS220049\BOS-220049-PLANS\103 STILLWATER BANGOR.HICAD\DWG\010725\PLANS\LANDSCAPING

APPENDIX B

INSPECTION CHECKLISTS

INVENTORY

INSPECTION AND MAINTENANCE LOG – OBSERVED

INSPECTION AND MAINTENANCE LOG – CORRECTED

ANNUAL EVALUATION RECORDS

STORMWATER INSPECTION AND MAINTENANCE LOG - OBSERVED

1. The responsible party shall report issues to the local authority as required by local ordinances and regulatory authorities.
2. The Contractor should fill out the checklist in the field manual when performing each inspection/maintenance task.
3. After the maintenance task is performed, the checklist should be filed in the Maintenance Plan and recorded in the log below.

<i>Measure Inspected</i>	<i>Inspector Name</i>	<i>Date(s) of Inspection</i>	<i>Maintenance Needed</i>
Vegetated Areas			
Inspect slopes and embankments and replant bare areas			
Armor rill erosion areas or divert runoff			
Mow vegetation as specified for the area			
Roadways and Parking Areas			
Clear and remove accumulated winter sand in paved areas			
Sweep pavement to remove sediment			
Remove debris and sediment from stormwater inlets and manholes			
Other Practices			
Contact the department for appropriate inspection and maintenance requirements for other drainage control and runoff treatment measures			

ANNUAL EVALUATION RECORD

The Contractor should evaluate the effectiveness of the maintenance plan by comparing the maintenance plan with the actual performance of the maintenance. The items to evaluate may include, but not limited to,

- Whether the inspections have been performed as scheduled;
- Whether the preventive maintenance has been performed as scheduled;
- Whether the frequency of preventative maintenance needs to increase or decrease;
- Whether the repairs were completed on time;
- Whether the inspection, maintenance, and repair records have been kept.

If actual performance of those items has been deviated from the maintenance plan, the responsible party should find the causes and implement solutions in a revised maintenance plan.

Evaluator(s)	Date of Evaluation	Decision
		___ Maintain current version OR ___ Revise current version Revision date _____ (also update the last revision date on the cover page) ___ Requires a new deed recording (also update the last recording information on the cover page)
		___ Maintain current version OR ___ Revise current version Revision date _____ (also update the last revision date on the cover page) ___ Requires a new deed recording (also update the last recording information on the cover page)
		___ Maintain current version OR ___ Revise current version Revision date _____ (also update the last revision date on the cover page) ___ Requires a new deed recording (also update the last recording information on the cover page)

SYMBOL

DESCRIPTION



PROPERTY LINE



EXISTING DRAINAGE AREA



EXISTING PVIOUS AREA

TAX MAP R61 LOT 001
NOW OR FORMERLY
JBN PROPERTIES INC
BOOK 6370, PAGE 227
(1997)

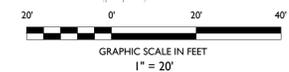
TAX MAP R62 LOT 001
NOW OR FORMERLY
BANGOR RETAIL
MANAGEMENT, LLC
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

20' WIDE EASEMENT TO
BANGOR
HYDRO-ELECTRIC
COMPANY
BOOK 4378, PAGE 185

AREA E-1
12,585 SF = IMPERVIOUS AREAS
2,132 SF = GRASS, GOOD (HSG D)
14,717 SF = TOTAL AREA

AREA E-2
5,344 SF = IMPERVIOUS AREAS
434 SF = GRASS, GOOD (HSG D)
5,778 SF = TOTAL AREA

**BANGOR MALL
ENTRANCE**



ISSUE	DATE	BY	DESCRIPTION
03	01/30/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GMC	FOR MUNICIPAL RESUBMISSION
01	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2025	AB	FOR MUNICIPAL RESUBMISSION



Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddeng.com
120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET
THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE



JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE:
**EXISTING DRAINAGE
AREA MAP**

DRAWING:

1 OF 2

24070148020250220049.dwg - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM

SYMBOL

DESCRIPTION



PROPERTY LINE



PROPOSED DRAINAGE AREA



PROPOSED PERVIOUS AREA

TAX MAP R61 LOT 001
NOW OR FORMERLY
JBN PROPERTIES INC
BOOK 6370, PAGE 227
(1997)

TAX MAP R62 LOT 001
NOW OR FORMERLY
BANGOR RETAIL
MANAGEMENT, LLC
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

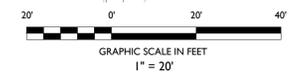
20' WIDE EASEMENT TO
BANGOR
HYDRO-ELECTRIC
COMPANY
BOOK 4378, PAGE 185

AREA P-1
4,107 SF = IMPERVIOUS AREAS
4,036 SF = GRASS, GOOD (HSG D)
8,143 SF = TOTAL AREA

AREA P-2
4,198 SF = IMPERVIOUS AREAS
1,707 SF = GRASS, GOOD (HSG D)
5,905 SF = TOTAL AREA

AREA P-3
6,268 SF = IMPERVIOUS AREAS
179 SF = GRASS, GOOD (HSG D)
6,447 SF = TOTAL AREA

**BANGOR MALL
ENTRANCE**



SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE



JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE:
**PROPOSED DRAINAGE
AREA MAP**

DRAWING:

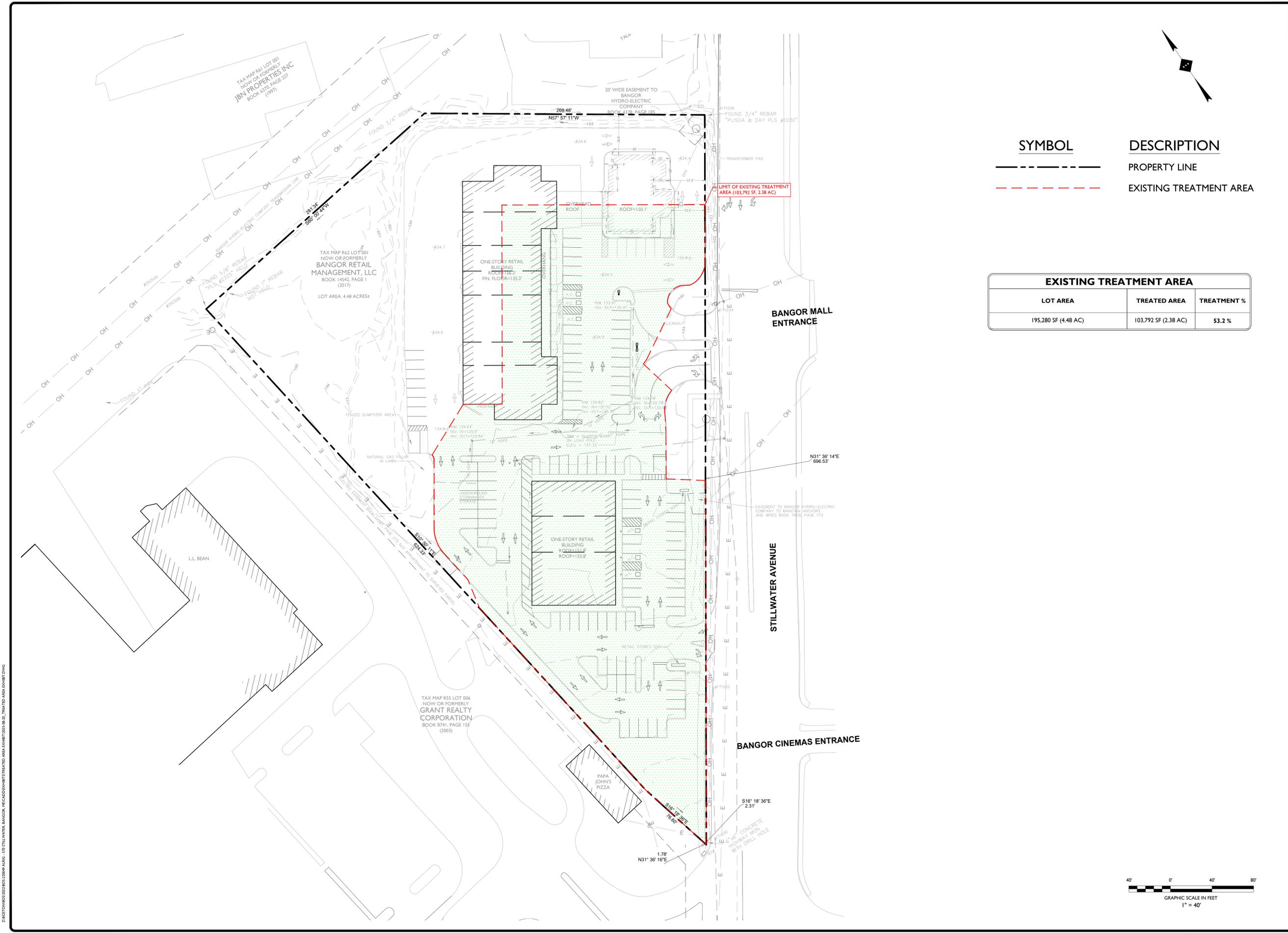
2 OF 2



Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

ISSUE	DATE	BY	DESCRIPTION
03	01/30/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2025	AB	FOR MUNICIPAL SUBMISSION



SYMBOL	DESCRIPTION
	PROPERTY LINE
	EXISTING TREATMENT AREA

EXISTING TREATMENT AREA		
LOT AREA	TREATED AREA	TREATMENT %
195,280 SF (4.48 AC)	103,792 SF (2.38 AC)	53.2 %

ISSUE	DATE	BY	DESCRIPTION
03	01/20/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2025	AB	FOR MUNICIPAL RESUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

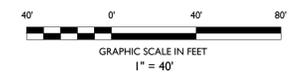
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

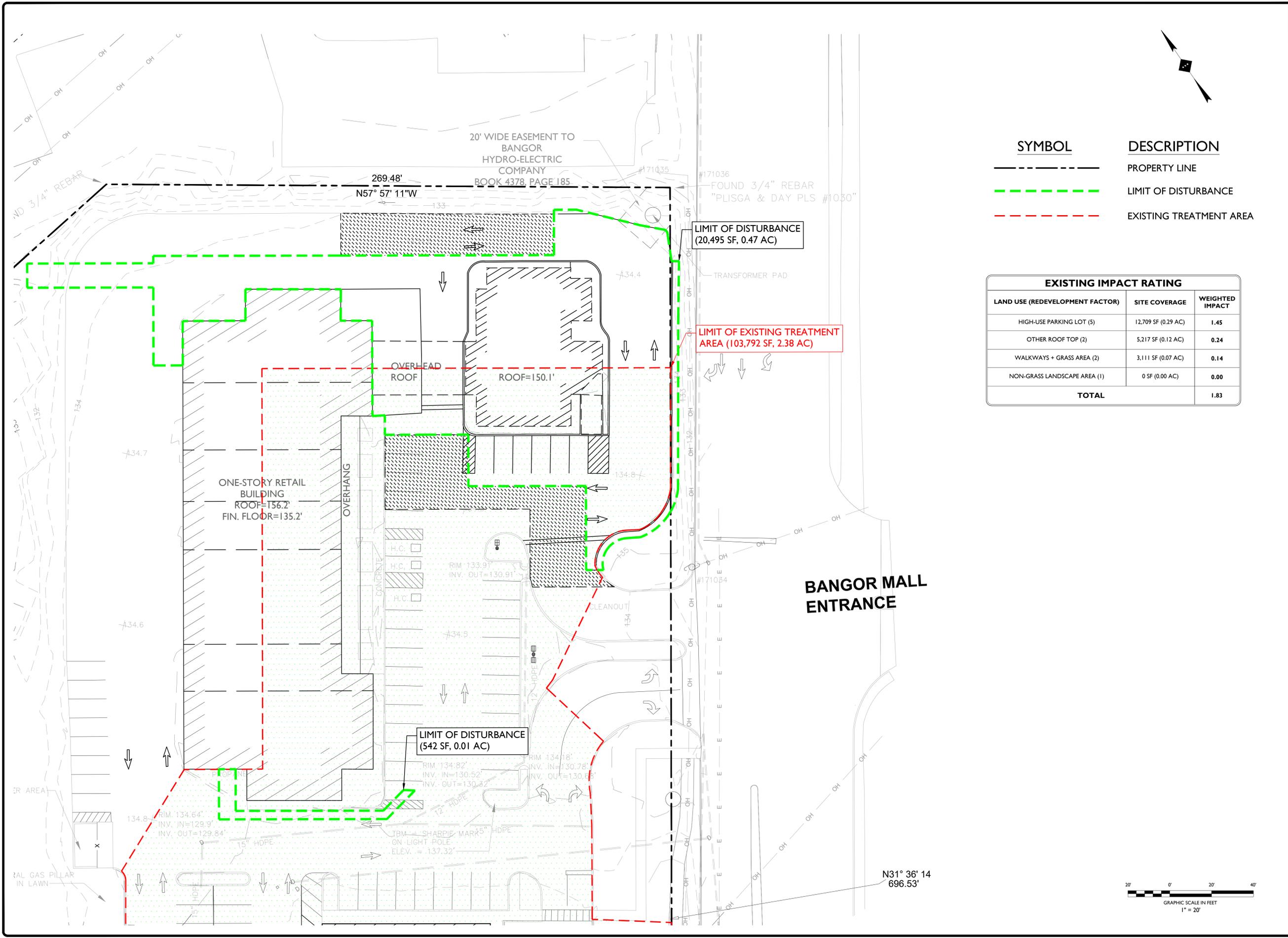
SCALE: 1" = 40' PROJECT ID: BOS-220049

TITLE:
**STORMWATER
TREATMENT EXHIBIT
(OVERALL)**

DRAWING:
1 OF 3

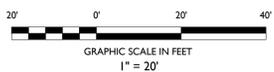


Z:\PROJECTS\2025\220049\AUG - 25\STILLWATER_BANGOR_HICAD\DOXHIT\TREATD_AMA_DOXHIT\2025\08_25_TREATD_AMA_DOXHIT.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	EXISTING TREATMENT AREA

EXISTING IMPACT RATING		
LAND USE (REDEVELOPMENT FACTOR)	SITE COVERAGE	WEIGHTED IMPACT
HIGH-USE PARKING LOT (5)	12,709 SF (0.29 AC)	1.45
OTHER ROOF TOP (2)	5,217 SF (0.12 AC)	0.24
WALKWAYS + GRASS AREA (2)	3,111 SF (0.07 AC)	0.14
NON-GRASS LANDSCAPE AREA (1)	0 SF (0.00 AC)	0.00
TOTAL		1.83



ISSUE	DATE	BY	DESCRIPTION
03	01/20/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2025	AB	FOR MUNICIPAL RESUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 642, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

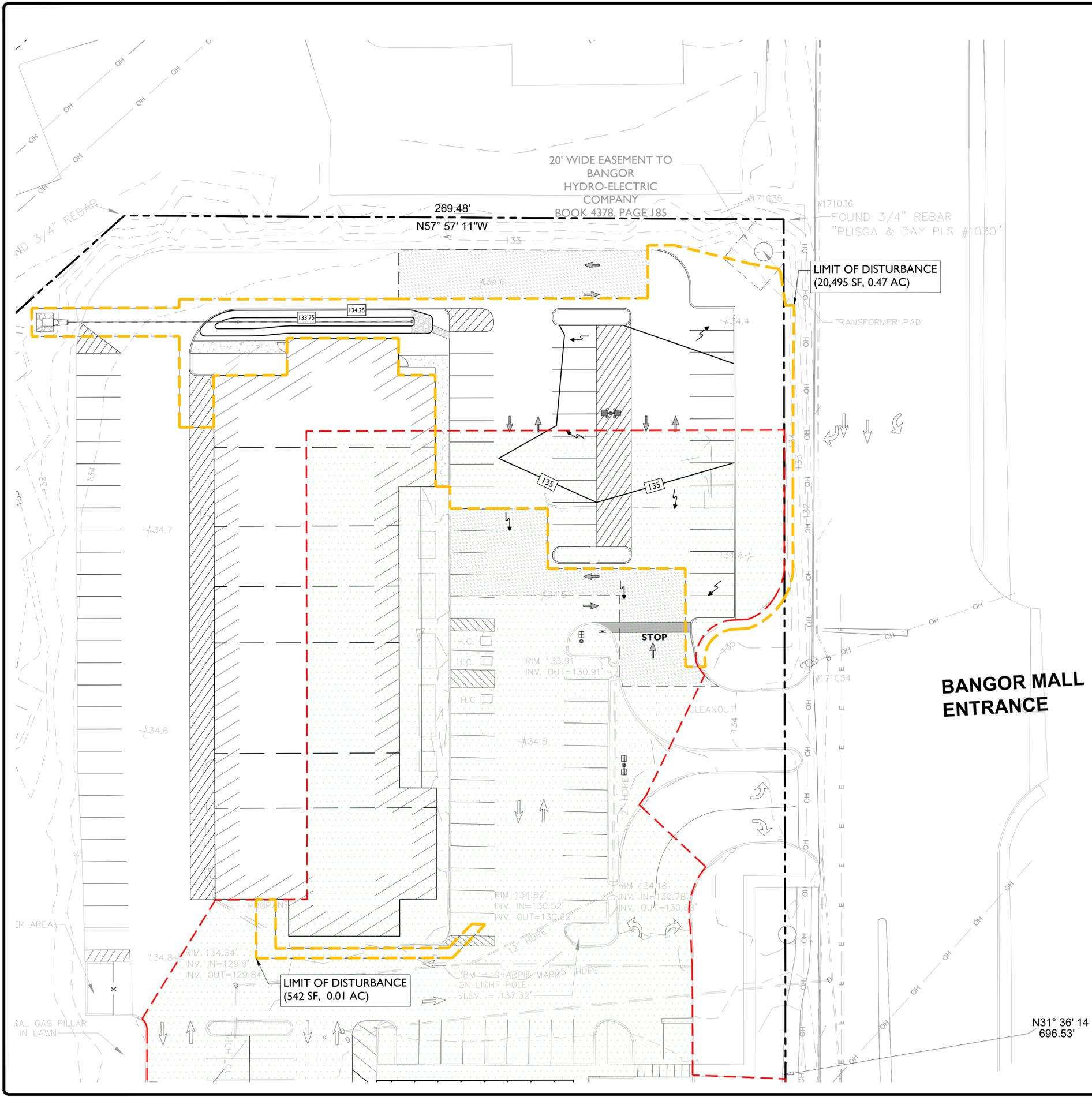
STATE OF MAINE
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE: **STORMWATER
TREATMENT EXHIBIT
(EXISTING CONDITIONS)**

DRAWING:

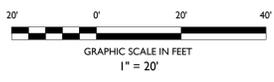


SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	LIMIT OF DISTURBANCE
- . - . - .	EXISTING TREATMENT AREA

PROPOSED IMPACT RATING		
LAND USE (REDEVELOPMENT FACTOR)	SITE COVERAGE	WEIGHTED IMPACT
HIGH-USE PARKING LOT (5)	14,289 SF (0.33 AC)	1.65
WALKWAYS + GRASS AREA (2)	5,437 SF (0.12 AC)	0.24
NON-GRASS LANDSCAPE AREA (1)	1,311 SF (0.03 AC)	0.03
TOTAL		1.92

TREATMENT LEVEL		
EXISTING IMPACT	PROPOSED IMPACT	RANKED IMPACT CHANGE DUE TO REDEVELOPMENT
1.83 (EIR) / 0.48 (AC) = 3.81	1.92 (EIR) / 0.48 (AC) = 4.00	4.00 - 3.81 = 0.19

TREATMENT AREA				
	LIMIT OF DISTURBANCE	TREATED AREA	TREATMENT %	REQUIRED TREATMENT
EXISTING	20,495 SF (0.47 AC)	7,721 SF (0.18 AC)	37.7 %	60% (12,297 SF)
PROPOSED		12,352 SF (0.28 AC)	60.2%	



ISSUE	DATE	BY	DESCRIPTION
03	01/20/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2025	AB	FOR MUNICIPAL RESUBMISSION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP #62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE: **STORMWATER TREATMENT EXHIBIT (PROPOSED)**

DRAWING: **3 OF 3**



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS

DATE SUBMITTED: _____

DATE REVIEWED: _____

INITIALS: _____

Project: _____

Project Location: _____

Applicant: _____

Applicant Representative: _____

Phone Number or Email: _____

Yes	No	Not applicable / Other	Site Plan Element
			Scale
			North Arrow
			Building/Lot dimensions
			Building locations/uses
			Parking/access/loading locations
			Signage
			Lighting
			Screening and Buffer
			Erosion and sedimentation
			Stormwater
			Manholes/catch basins
			Sewer
			Water
			Fire Hydrants
			Electric/Communication
			Curbs and gutters
			Paved/un-vegetated/vegetated areas



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS

Yes	No	Not applicable / Other	Site Plan Element
			Trash
			Outdoor display/storage
			Existing trees
			Deed or other instrument allowing pursuit of permits
			Topo
			Adjacent buildings and features
			Traffic
			Location sketch
			Post Construction StormWater Maintenance Plan
			Building Permit Application
			Fire Comments
			Shoreland delineation
			FloodPlain location
			Effects on scenic, etc
			Table showing compliance with dimensional Requirements
			Table showing compliance with Parking Requirements

Comments on Completeness



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS

Comments on Compliance

Additional comments from Planning staff:

-Red maple isn't very salt tolerant. For survivability purposes, some recommended alternative trees are shown below:

Large trees

- Sassafras (*Sassafras albidum*) (native)
- Northern red oak (*Quercus rubra*) (native)
- Black/Swamp white oak (*Quercus bicolor*) (native)
- White oak (*Quercus alba*) (native)
- Scarlet oak (*Quercus coccinea*) (native)
- Chestnut oak (*Quercus prinus*) (native)
- Bur oak (*Quercus macrocarpa*) (native)
- Hackberry (*Celtis occidentalis*) (native)
- American elm 'Princeton' or 'Prairie Expedition' (resistant to Dutch elm disease) (native)
- Honeylocust (thornless) (*Gleditsia triacanthos inermis*) (native)
- Bald cypress (*Taxodium distichum*) (native)
- Black gum/Tupelo (*Nyssa sylvatica*) (native)
- Kentucky Coffeetree (*Gymnocladus dioica*) (native)

-The response to comments regarding the traffic movement permit says the Massachusetts Department of Transportation. Is this a typo?

-Please provide specific documentation for financial capacity

-The landscape plan states that 31 spaces are in the proposed new parking area, but I'm counting 32. Additionally, when the planting ratios result in fractional numbers (3.2 in this case), the Code requires us to round up. This would result in 1 additional tree and shrub planting (3.2 trees rounds up to 4 total, and 12.8 shrubs rounds up to 13).

Engineering Comments:

- As noted in our first set of comments their previous site plan approval was subject to a MDEP Stormwater Permit. With the additional modifications to the site, they also need to modify their existing stormwater permit for the site with the Maine DEP. The applicant responded by sending us a SLODA narrative, and also stating that their improvements were up to Maine DEP stormwater standards. Their site is proposed to be less than 3 acres of impervious surface, and therefore does not meet SLODA permitting thresholds. I believe their previous approvals were also for less than 3 acres, though their submittal states they are over 3 acres. I want to make sure the applicant understands that the stormwater permitting process, including modifications, is through the Maine DEP, not the City of Bangor. I have no issues with the site plan. I would like to make sure they understand who the permitting authority is for this application.
- The City will need the updated post-construction maintenance plan for site, including the proposed bioretention cell. Please send a copy of the MDEP stormwater permit modification application, which would include a post-construction maintenance plan.
- Attached is a sketch of the proposed parking layout with a minor adjustment. Would this alignment be more beneficial to the site?

Re: 570 Stillwater Ave - Land Development Application Checklist

From Vaughan Littlefield <vaughan@bangorwater.org>

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Good morning,

Bangor Water District never received confirmation of how the existing fire service will be used, modified or abandoned. It enters the building in the portion which will be demolished.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[REDACTED]

From: Altiero, Matthew <matthew.altiero@bangormaine.gov>

[REDACTED]

Subject: Re: 570 Stillwater Ave - Land Development Application Checklist

Good morning,

Does anyone have any more questions for this applicant? If not, can you send your approvals? Thank you in advance!

Best,



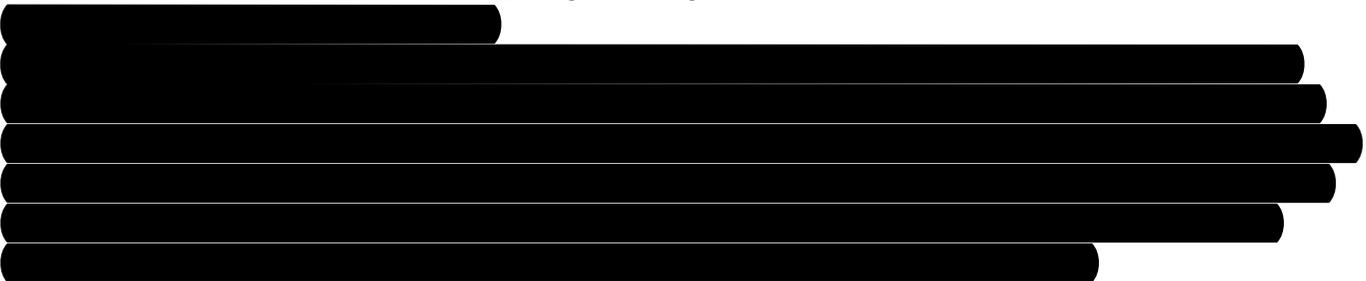
CITY OF BANGOR
Matthew Altiero, Planning Analyst
Community & Economic Development Department



Some people have received emails or letters from an unknown source pretending to be the municipality, stating that additional, exorbitant fees are required to finish processing applications. Please know that our fee schedule is available on the City's website, and we always require fees up front before reviewing an application, not after it's been put on a Planning Board agenda.

Please also call our office at 207-992-4280 or email us at planning@bangormaine.gov if you're unsure or if you have any questions.

From: Altiero, Matthew <matthew.altiero@bangormaine.gov>



Subject: Fw: 570 Stillwater Ave - Land Development Application Checklist

Hi all,

The attached email has the revisions and answers to the 570 Stillwater LDP checklist sent out in July. I will also reattach the original checklist.

Link: https://url.usb.m.mimecastprotect.com/s/FmurC7Dx4ltW6l2U8fDuoIO_t?domain=stonefieldengineering.sharepoint.com

Thank you,



CITY OF BANGOR
Matthew Altiero, Planning Analyst

Community & Economic Development Department

[Redacted]

[Redacted]

Subject: RE: 570 Stillwater Ave - Land Development Application Checklist

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Matthew – Please see the below link for the full Municipal Resubmission Package to the City of Bangor for 570 Stillwater Avenue. Please confirm the number of physical copies required for the City to review upon receipt and feel free to reach out with any questions or concerns on the package.

[2025-10-15_Municipal Resubmission](#)

Thank you,

Arturo Buenrostro

STONEFIELD

[Redacted]

[Redacted]

Subject: 570 Stillwater Ave - Land Development Application Checklist

CAUTION: External Email

Hello,

Attached is the land development application checklist for 570 Stillwater Ave with comments from the Development Team. Please let us know if you have any questions.

Best,



CITY OF BANGOR
Matthew Altiero, Planning Analyst
Community & Economic Development Department

FW: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

[REDACTED]

Date Fri 12/5/2025 11:06 AM

[REDACTED]

FYI

Jefferson Davis, PLA
Director of Engineering
Maine Licensed Landscape Architect
City of Bangor
73 Harlow Street
Bangor, Maine 04401

[REDACTED]



[REDACTED]

Subject: RE: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Good Morning Victoria,

Thank you very much for the letter summarizing the recently planned work at 570 Stillwater Avenue in Bangor. I agree that the work, as discussed in the letter, will result in a decrease in trips being generated by the site. Because of the decrease in trip generation, no additional permitting through MaineDOT is required for this project. This work all falls under the MaineDOT permit that was issued for this site in 2017.

I hope you have a joyous holiday season.

John Theriault, PE, PTOE
Region 4 Traffic Engineer

[Redacted]

Subject: RE: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

EXTERNAL: This email originated from outside of the State of Maine Mail System. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John – Appreciate you taking the time to discuss the project with our team and providing the outline below of requested next steps. Please find attached a summary of the proposed scope of work and request to seek confirmation that no further action from the state is required at this time. As noted below the project falls under the MaineDOT permit that was issued in 2017 and the reduction in retail space will reduce traffic, therefore no additional permitting will be required and mitigation required under the 2023 permit is not required at this time.

In speaking with the Applicant at this time they would like to keep the 2023 permit in place understanding if no work takes place toward the project, that permit will expire by 8/11/2028.

Thanks,

Victoria Epstein
STONEFIELD

[Redacted]

[Redacted]

Subject: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

CAUTION: External Email

Good Afternoon Josh,

I understand that Stonefield Engineering is currently working on a revision to the site at 570 Stillwater Avenue that includes the removal of a portion of the northerly existing building resulting in the reduction of approximately 3,856 square feet of retail space. The remaining portion of the building will be renovated for retail space similar to its current use. The area where the building will be removed will be redeveloped for additional site parking. The 9,440 SF building to the south of the site that was permitted in 2017 and completed in 2018 and includes the Aspen

Dental, T-Mobile Store, and Sleep Number Store, will remain unchanged. This discussed development all falls under the MaineDOT permit that was issued in 2017 for the construction the 9,440 SF retail building. With a reduction in retail space, it is likely that the site will also see a slight reduction in site traffic.

In August of 2023, this site was issued a permit for the development of a 2,477 SF Starbucks with drive through window service and 2,400 SF of new retail space. This permit included offsite mitigation for traffic signal upgrades and a fee towards improvements to the Gilman Road/Stillwater intersection. No work associated with this permit has begun and no mitigation has been provided to the City of Bangor or MaineDOT. If work does not begin on the Starbucks project before 8/11/2028, this permit will expire.

Because of the many recent changes to this site, MaineDOT would like the Developer's Engineer to provide a brief summary letter of what is currently permitted on the site for traffic and what the expected site generation resulting from the reduction of retail space is.

If the developer has no intention of developing the site as permitted in 2023, it may be clearer for the Department to rescind that permit such that no mitigation is expected of the Developer under the current plan. The Developer needs to formally request that the permit be rescinded for that to occur. If no work takes place toward the completion of the Starbucks, that permit will expire by 8/11/2028 as previously mentioned. Please let me know if you have any questions.

Sincerely,

John Theriault, PE, PTOE
Region 4 Traffic Engineer



Re: 570 Stillwater Ave comments

[Redacted]

Joshua,

The E buffer is required for new parking, the presence of the travel aisle between the parking and the street does not preclude this requirement.

Best Regards,



CITY OF BANGOR

Brenda Hanscom Bilotta
Deputy Director of Code Enforcement
Code Enforcement Office

[Redacted]

<http://www.bangormaine.gov>



From: Collette, Anja <anja.collette@bangormaine.gov>

[Redacted]

Subject: Re: 570 Stillwater Ave comments

Hi, Brenda, who is copied here, can give the confirmation of applicability of the buffer. However, she is out of the office for the week, returning Monday.

On the SLODA question, I can confirm that SLODA modification is not required for this project. I can't speak to the stormwater permitting portion since that's Engineering; I've copied Jeff and Rich though from Engineering who can answer that. It sounded like from our meeting though that stormwater was all set.



CITY OF BANGOR

Anja Collette, AICP

Planning Officer

Community & Economic Development

Planning Division

73 Harlow Street

Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Thanks again for taking the time to meet with us this afternoon, we appreciate your help moving the application forward. We just wanted to follow-up confirming the items we are seeking clarification on that were discussed during the meeting. Pending feedback, we hope you can work with us to allow the application to go forward for approval at the January meeting.

1. Confirmation of Applicability of 'E-Buffer' Requirement – the Applicant is seeking confirmation and reference to the requirement for the 'E-Buffer'. During the pre-application meeting it was discussed that based on Section 165-73D(2) that if parking was not proposed fronting Stillwater Avenue than this requirement would not be applicable and the existing drive-aisle could remain. In previous applications and iterations of the concept plan parking was proposed fronting Stillwater Avenue which triggered the required buffer.
2. SLODA Applicability – It was noted on the call that the financial capacity letter was no longer required, can you provide clarification if the City / Engineering has determined that no further action from the City or state is required at this time. The original project in 2017 received a Stormwater Management Law Approval (Site Location of Development Law was not applicable given size of development).

Joshua H. Kline, PE

STONEFIELD

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

We will discuss the interpretation at the meeting on Monday.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Yes that works for us – in advance of the meeting can you have code enforcement confirm that maintaining the existing drive-aisle does not trigger the requirement for new buffering. If not can you have them provide support for the interpretation.

Joshua H. Kline, PE
STONEFIELD

[REDACTED]

From: Collette, Anja <anja.collette@bangormaine.gov>

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, yes, we can set up a meeting. Is your team available next Monday, the 22nd, at 3 pm EST?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Thanks for the feedback, can we set-up a meeting with the Planning and Code Enforcement to review the latest comments and ensure there are no new comments that may be forthcoming to help move the application forward. Based on our pre-application meeting it was discussed that as long as new parking was not proposed along the frontage than the existing drive-aisle could remain. Engineering's sketch relocates parking to the front which would require the buffer to be enforced. This is an existing condition that remains.

The traffic flow and patterns aligns with what was previously approved and would not create unsafe flow or condition. The applicant does not wish to introduce angled parking and/or increase impervious surfaces unnecessarily. At this time, they would like to move the application forward for approval.

Thanks,
Josh

Joshua H. Kline, PE

STONEFIELD

[REDACTED]

[REDACTED]

Subject: 570 Stillwater Ave comments

CAUTION: External Email

Hello, it was pointed out by Code Enforcement that because this project adds new parking, it requires an [E-buffer](#) (street trees) between the parking and the street. I understand this would require the pavement to be pulled in and therefore change the parking configuration. The City Engineer previously sent a proposed alternative design to the parking lot that would result in no loss to parking, but would also pull in the pavement enough to add a buffer, as well as improve the internal traffic flow in the lot. If angled parking was used in his design, two additional spots could also be added. We are concerned about the traffic flow in this parking area as currently designed, so we would like to see the design proposed by the City Engineer, along with the required street tree plantings between the parking and Stillwater.

The Water District also has the following comments:

The plans need to reflect that there is a fire service and domestic service currently serving this lot, not a singular service as shown. We need clarification on there intent for both services.

The fire service, if it is not required, needs to be cut and capped at the valve on the mainline. This is shown incorrectly still. Also they show the new domestic service being connected to the existing fire service lateral, this is also not an acceptable method.

We will also need new construction and fixture count forms for the building to ensure the domestic water service is sized correctly.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

Re: 570 Stillwater Ave comments

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

They still do not show the water services properly. The only service they show to the building which is being redeveloped is the fire service which they are calling to be capped at the main. They need to show the domestic service on the plans, we have sent them numerous tie-cards and GIS images. They also should accurately show the water main in Stillwater, they currently do not.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

Hi Adam, Matthew, and Vaughan, could we get comments or sign-offs from you on these revisions as soon as possible so that we can confirm this application for an agenda? Thank you!



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development

Re: 570 Stillwater Ave comments

[REDACTED]

Hey Anja, sorry about missing this. I don't have additional comments on the site.

Thank you!
Adam



CITY OF BANGOR

Adam Vachon

Fire Inspector, CFI-1

Fire Prevention Division

[REDACTED]

[REDACTED]

Subject: Fw: 570 Stillwater Ave comments

Hi Adam, just following up on this.



CITY OF BANGOR

Anja Collette, AICP

Planning Officer

Community & Economic Development

Planning Division

73 Harlow Street

Bangor, ME 04401

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

Subject: Fw: 570 Stillwater Ave comments

Hi all,

The attached email contains revisions for 570 Stillwater. If anyone has any issues accessing them, please let me know and I will resend them. Please send over any comments you have, if you do not have any, can you please send over a sign-off? Thank you!

Best,



CITY OF BANGOR

Matthew Altiero, Planning Analyst

Community & Economic Development Department

[Redacted]

Some people have received emails or letters from an unknown source pretending to be the municipality, stating that additional, exorbitant fees are required to finish processing applications. Please know that our fee schedule is available on the City's website, and we always require fees up front before reviewing an application, not after it's been put on a Planning Board agenda.

RE: 570 Stillwater Ave comments

[REDACTED]

Hi Anja,

Yes that is sufficient. Any changes to the site or any supplemental information DEP requires should be forwarded to us. Thank you.

Jefferson Davis, PLA
Director of Engineering
Maine Licensed Landscape Architect
City of Bangor
73 Harlow Street
Bangor, Maine 04401

[REDACTED]



[REDACTED]

Subject: Fw: 570 Stillwater Ave comments

Thoughts? Is this sufficient for you along with a condition on this for Planning Board approval?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]
[REDACTED]

[REDACTED]

Sent: Tuesday, February 10, 2026 5:45 PM

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Please see attached correspondence from MaineDEP confirming we will be meeting with the Stormwater Engineer next week (19th) – is this sufficient to confirm our spot on the agenda? We can plan to have the updated buffer mid-next week but the applicant is looking for confirmation we will be placed on the agenda.

Thanks,
Josh

Joshua H. Kline, PE
STONEFIELD

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, Engineering would like proof that the process has started with DEP before we place this on an agenda. Since you're meeting with them next week, I don't think this will hold up the application. The soonest meeting this could on would be March 3rd and we would need to send notices to abutters by next Thursday or Friday at the latest. So, provided Water and Fire are good with the application (we haven't heard from them yet), if you can just get us this proof by next week (along with the revision regarding the buffer), it will likely be good to go for the 3rd.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer

Re: 570 Stillwater Ave comments

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

I am on vacation this week, but after looking at the most recent pdf set of plans. They show a completely new domestic water service, and they show the existing fire service being abandoned. Both are acceptable, pending review of the fixture count form for verification of the size.

One remaining issue, they still do not show the existing domestic water service on the plans. I am not sure why, all of that information has been provided multiple times? If the domestic isn't being reused, they will need to put a note on the plan that the service will need to be capped and abandoned at the main.

Vaughan Littlefield

Get [Outlook for iOS](#)

[REDACTED]

Subject: Fw: 570 Stillwater Ave comments

Hi Vaughan, please let us know if the revised plans meet your needs.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Please see the below share link for the revised Site Plans. Please let us know if you have any initial comments/concerns with the updates made as you review. We look forward to getting this on the agenda and moving this forward!

[2026-02-18_Municipal Resubmission](#)

Thank you,

Arturo Buenrostro
STONEFIELD

[REDACTED]

[REDACTED]

Sent: Wednesday, February 18, 2026 2:16 PM

RE: 570 Stillwater Ave comments

[Redacted]

1 attachment (6 MB)

2026-02-18_(FS)-DRFT-Site Plans_Stillwater Bangor, ME.pdf;

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Sure thing Anja, appreciate the quick review. Please see attached for the updated plans.

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
DECIDUOUS TREES							
	GSH	4	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE (VARIETY)
	NYS	5	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B	NATIVE

Giovanni M. Cesar
STONEFIELD

[Redacted]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi there, I just have one very minor comment on the revised plans. On the planting plan on page C-9, the table says 4 Nyssa Sylvaticas are proposed, but the drawing shows 5. Can you correct this?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[Redacted]

[Redacted]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

[Redacted]

Subject: RE: Pre-Application Meeting Request - Alrig Bangor, MA (570 Stillwater Ave)

Emily – In advance of our meeting next week, we wanted to pass along the update plan set and resubmission package in the below share link. Town Planning had a few comments to the parking layout which changed a bit of the stormwater design but the overall intent of the plan remains consistent. The files have been uploaded to the MELS portal as well. Please feel free to forward to Kris and/or anyone else from your team.

 [2026-02-09_Resubmission Package to DEP](#)

Thank you,

Giovanni M. Cesar
STONEFIELD

[Redacted]
[Redacted]

[Redacted]

Subject: RE: Pre-Application Meeting Request - Alrig Bangor, MA (570 Stillwater Ave)

CAUTION: External Email

Hi Giovanni,

Let's meet on Thursday (2/19) at 1:00 if that works for your team. Kris Bears (stormwater engineer) will be joining us. I'll send a Teams invite shortly.

Thanks,
Emily

Re: 570 Stillwater Ave comments

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Looks good, thank you! Our comments have all been met.

Vaughan

Get [Outlook for iOS](#)

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

Vaughan – appreciate you returning our call to connect and review these final comments. Please see attached updated plan set.

Thank you,

Giovanni M. Cesar
STONEFIELD

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

The demolition of the existing water services is correctly shown now. The last item to address is separation between the proposed 2" water service and the electrical service. This needs a minimum separation of 4 feet face to face. All else looks fine.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

[REDACTED]

Anja – Please see attached updated civil plans with the cut and cap at the main as shown. Let us know if this satisfies the BWD's requested updates.

Thank you,

Giovanni M. Cesar
STONEFIELD

[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

Subject: Re: 570 Stillwater Ave comments
Importance: High

CAUTION: External Email

Hello, has this been resolved? We are working on the Planning Board packets for next week's meeting so need to see the newest revised plans if changes have been made since last week.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401
[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

Subject: Re: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Josh,

What you are showing there is the existing fire service. It is being shown capped at the main which is correct. You need to show the existing domestic service also being capped at the main as you are installing a new domestic service.

There are currently two services to 570 Stillwater, one fire and one domestic. BWD has sent those tie cards multiple times, but it still isn't shown correctly.

Call me Monday and we can discuss. Playing tag through email isn't working.

[REDACTED]
Thanks,
Vaughan Littlefield

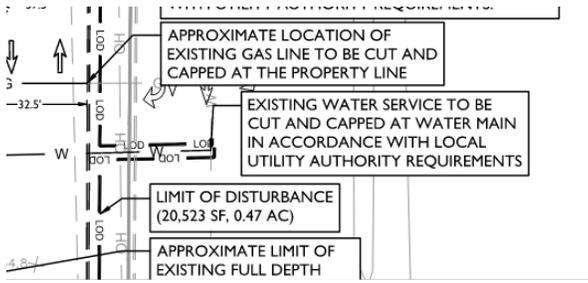
Get [Outlook for iOS](#)

[REDACTED]
[REDACTED]
[REDACTED]

Subject: RE: 570 Stillwater Ave comments

[REDACTED]

Anja – This is shown on Sheet C-3



Joshua H. Kline, PE
STONEFIELD

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Thank you for that. The Water District got back to us and had one remaining comment - the existing domestic water service isn't shown on the plans; if it's not planned to be reused, there needs to be a note on the plan that the service will be capped and abandoned at the main.

That's the last comment on this overall.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
 Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Sure thing Anja, appreciate the quick review. Please see attached for the updated plans.

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
DECIDUOUS TREES							
	GSH	4	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE (VARIETY)
	NYS	5	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B	NATIVE

Giovanni M. Cesar
STONEFIELD

[REDACTED]

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi there, I just have one very minor comment on the revised plans. On the planting plan on page C-9, the table says 4 Nyssa Sylvaticas are proposed, but the drawing shows 5. Can you correct this?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Please see the below share link for the revised Site Plans. Please let us know if you have any initial comments/concerns with the updates made as you review. We look forward to getting this on the agenda and moving this forward!

[2026-02-18_Municipal Resubmission](#)

Thank you,

Arturo Buenrostro
STONEFIELD

[REDACTED]

[REDACTED]

Sent: Wednesday, February 18, 2026 2:16 PM

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, just following up on this. Do you have revised digital plans we could see?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street

Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Plans will be issued tomorrow – we received additional direction from water department today on what they would like to see. Thanks!

Joshua H. Kline, PE

STONEFIELD

[REDACTED]

•

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, just following up on this. If possible, please send us revised plans showing the correct water line locations and the E-buffer by tomorrow so that we can send out notices to abutters by Thursday.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

I believe so; CC'ing Vaughan for confirmation. I've attached an image of the GIS water layer for this site. I can send the actual GIS layer for this area later as well if that's needed.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – We can make the updates, but to be clear the comment is referencing the location of the existing water mains within the right-of-way (we just want to confirm as the email is ambiguous)? Please send GIS images noted below for us to be able to incorporate.

We appreciate you getting us on the March meeting, it is critical the application moves forward in March.

Thanks,
Josh

Joshua H. Kline, PE
STONEFIELD

[REDACTED]

[REDACTED]

[REDACTED]
Subject: Fw: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, this sounds like a pretty simple change to the plans. If you can just make those edits to how the water lines are shown and show the E buffer along the street, and get us revised plans by early next week, I believe we can put this on the March 3rd agenda. Please just send digital copies, not hard copies yet. And our City Engineer was good with what you sent on the DEP meeting so that part is satisfied.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

Subject: Re: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

It is still an issue, I can also resend our GIS images. The water lines are still shown incorrectly.

Vaughan

Get [Outlook for iOS](#)

[REDACTED]
[REDACTED]
[REDACTED]

Subject: Re: 570 Stillwater Ave comments

If this is just an issue with showing the correct locations of the water lines, we can send our utility GIS layer to help make that change.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]
[REDACTED]

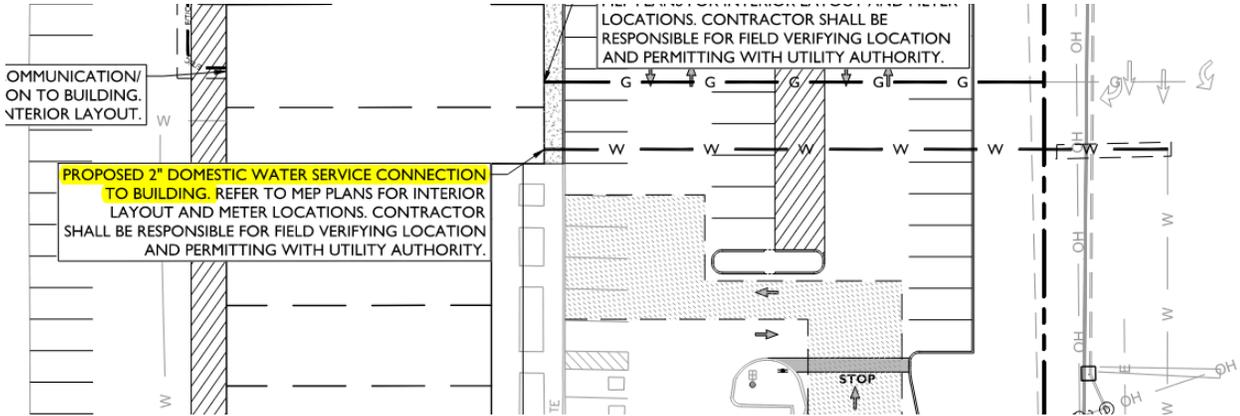
Sent: Wednesday, February 11, 2026 8:39 AM

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – We will coordinate with Vaughan to ensure we are aligned as the project moves forward but as discussed at the meeting this comment should not hold up the applicant's ability to proceed at the next available meeting.

For reference on Sheet C-6 of the latest plans a new domestic service is shown – we will coordinate with Vaughan as he may be allowing us to pick-up the existing domestic service versus a new tap.



Joshua H. Kline, PE
STONEFIELD

Subject: Fw: 570 Stillwater Ave comments
Importance: High

CAUTION: External Email

Hi Josh, please see the comments below from the Water District.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

Subject: Re: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

They still do not show the water services properly. The only service they show to the building which is being redeveloped is the fire service which they are calling to be capped at the main. They need to show the domestic service on the plans, we have sent them numerous tie-cards and GIS images. They also

should accurately show the water main in Stillwater, they currently do not.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[Redacted]

[Redacted]

Subject: Re: 570 Stillwater Ave comments

Hi Adam, Matthew, and Vaughan, could we get comments or sign-offs from you on these revisions as soon as possible so that we can confirm this application for an agenda? Thank you!



CITY OF BANGOR

Anja Collette, AICP

Planning Officer

Community & Economic Development

Planning Division

73 Harlow Street

Bangor, ME 04401

[Redacted]

[Redacted]

Subject: Fw: 570 Stillwater Ave comments

Hi all,
The attached email contains revisions for 570 Stillwater. If anyone has any issues accessing them, please let me know and I will resend them. Please send over any comments you have, if you do not have any, can you please send over a sign-off? Thank you!
Best,



CITY OF BANGOR

Matthew Altiero, Planning Analyst

Community & Economic Development Department

[Redacted]

570 STILLWATER AVENUE -- ABUTTERS WITHIN 100FT			
Owner	Owner 2	Owner Address 1	Owner Address 2
No Limits, LLC		PO Box 458	Winterport, Maine 04496
JBN Properties Inc.		52 Gilman Road	Bangor, Maine 04401
Bangor Mall Realty LLC	Bangor CH, LLC & Bangor Nassim, LLC, attn: Namdar Realty Group	150 Great Neck Road, Suite 304	Great Neck, NY 11021
ERG Realty LLC		PO Box 2400	Bangor, Maine 04402-2400
605 Stillwater Avenue, LLC		3280 Sunrise Highway, Suite 77	Wantagh, NY 11793



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

PLANNING DIVISION

PUBLIC NOTICE

Date: February 19, 2026

Dear Property Owner:

Please be advised that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, beginning at 7:00 p.m. in the City Council Chambers at Bangor City Hall (73 Harlow Street) and will consider the following application:

Land Development Permit Application – Major Site Development for proposed demolition of front building and expansion of parking lot located on 570 Stillwater Avenue, Map Lot R62-001, in the Shopping & Personal Service District (S&PS). Applicant/Owner: Bangor Retail Management LLC

A full copy of the application can be emailed or mailed to any interested party by emailing a request to planning@bangormaine.gov or calling the office at 207.992.4257. Copies of the application can also be picked up at City Hall. To submit comments in writing, please email comments to planning@bangormaine.gov or mail to 73 Harlow Street before 4 PM, March 2nd, 2026. Interested parties can also make an appointment by email or phone to meet with Planning Division staff in person or on Zoom.

The public is welcome to attend the meeting in person or via Zoom. Public comments are allowed over Zoom; however, you must register before 9 AM, March 3rd at <https://bangormaine.gov/504/Meeting-Participation>. Zoom details can be found at the city's website under www.bangormaine.gov/calendar. The Planning Board meeting may be streamed live via the City of Bangor's YouTube page; however, comments are not enabled during streaming. Please call our office if you have questions about the process or participation in the hearing process.

Anja Collette
Planning Officer
City of Bangor



Bangor is rewriting its Land Development Code! For more details and to sign up for updates, visit www.blueprintbangor.com

73 HARLOW STREET, BANGOR, ME 04401
TELEPHONE: (207) 992-4280 FAX: (207) 945-4447
WWW.BANGORMAINE.GOV



COMMUNITY & ECONOMIC DEVELOPMENT

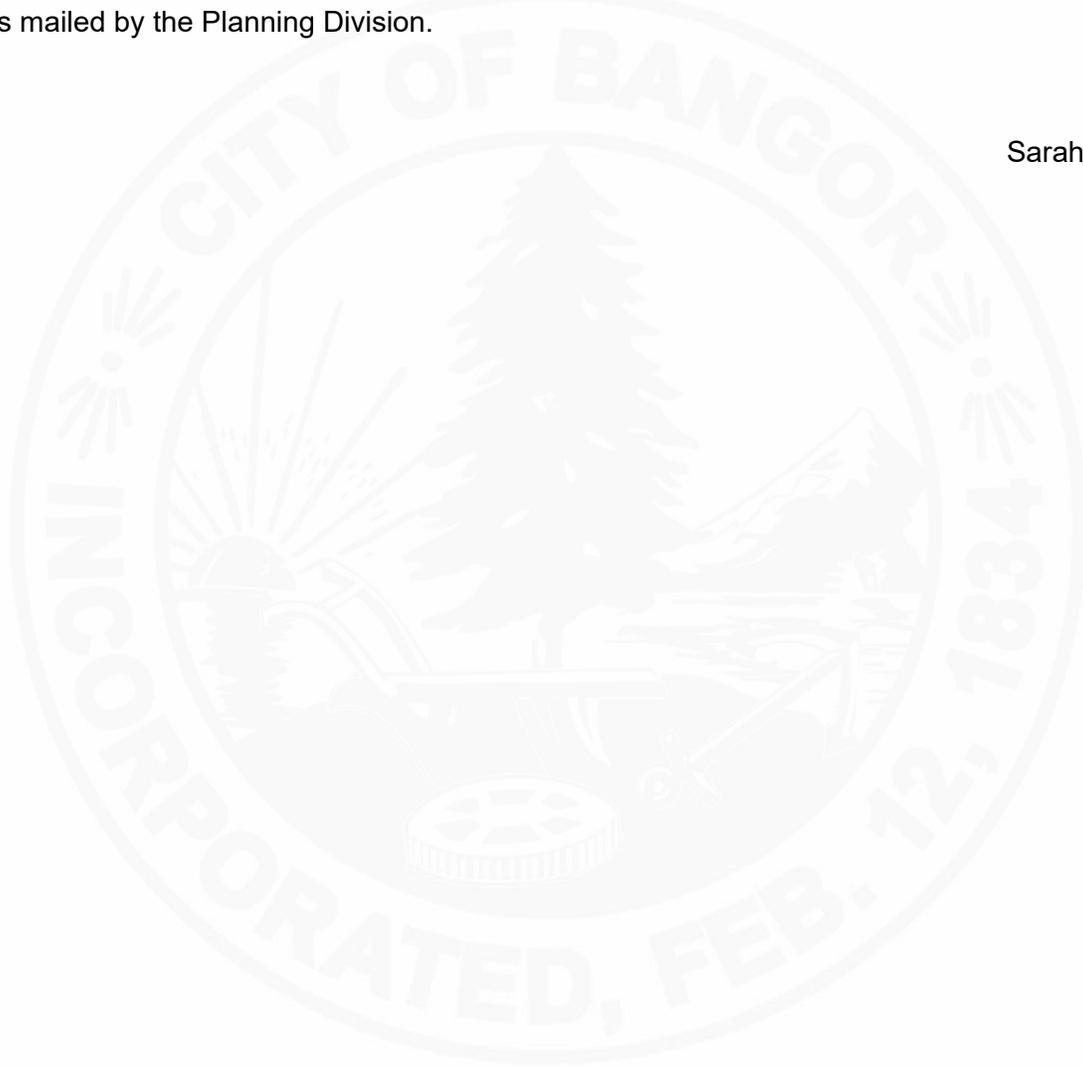
CITY OF BANGOR

PLANNING DIVISION

Re: SDP – 570 Stillwater Avenue – Bangor Retail Management – Notice of Mailing

On February 20, 2026, the Public Notice for 570 Stillwater Avenue – Bangor Retail Management, advising that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, was mailed by the Planning Division.

Sarah Maquillan





Climate Migration Through an Economic Lens

January 27, 2026

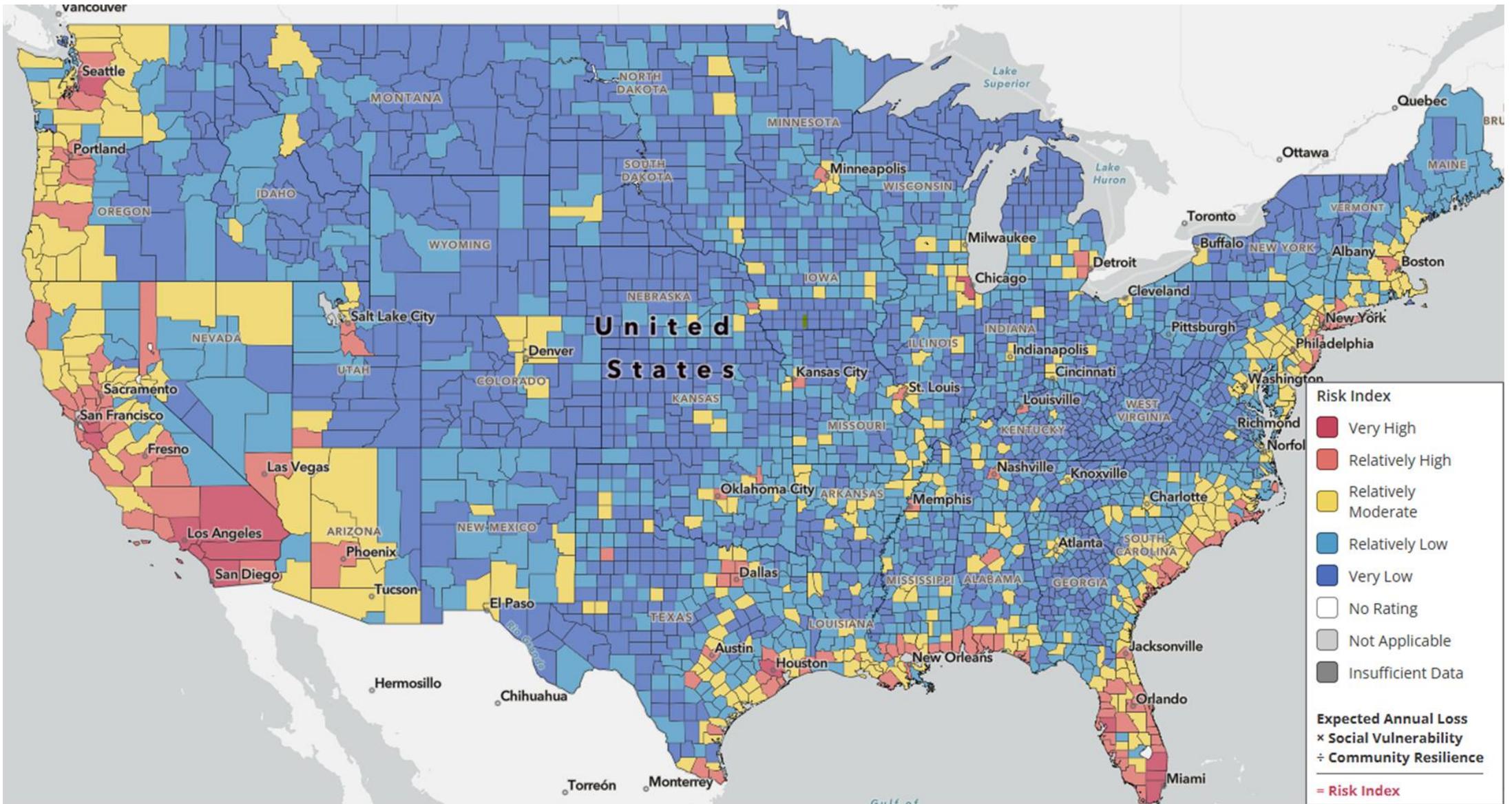
passivhausMaine and E2Tech: Climate Migration in Maine Panel Discussion

Laura M. Yeitz, Data Communication Specialist
Maine Office of the State Economist

**Let's start by looking at
something ...**

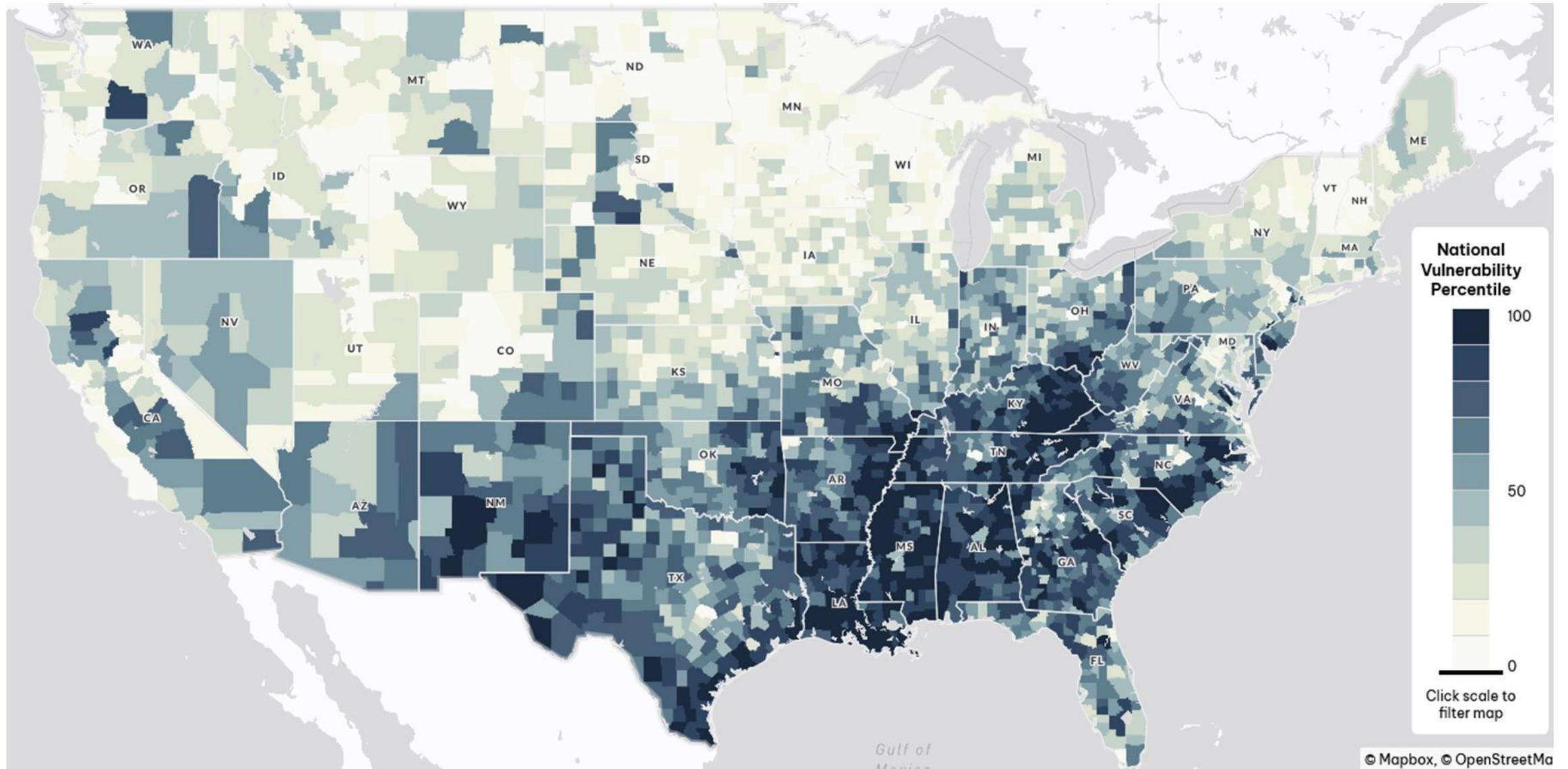
FEMA National Risk Index

Combined measure of expected natural hazard losses, social vulnerability, and community resilience



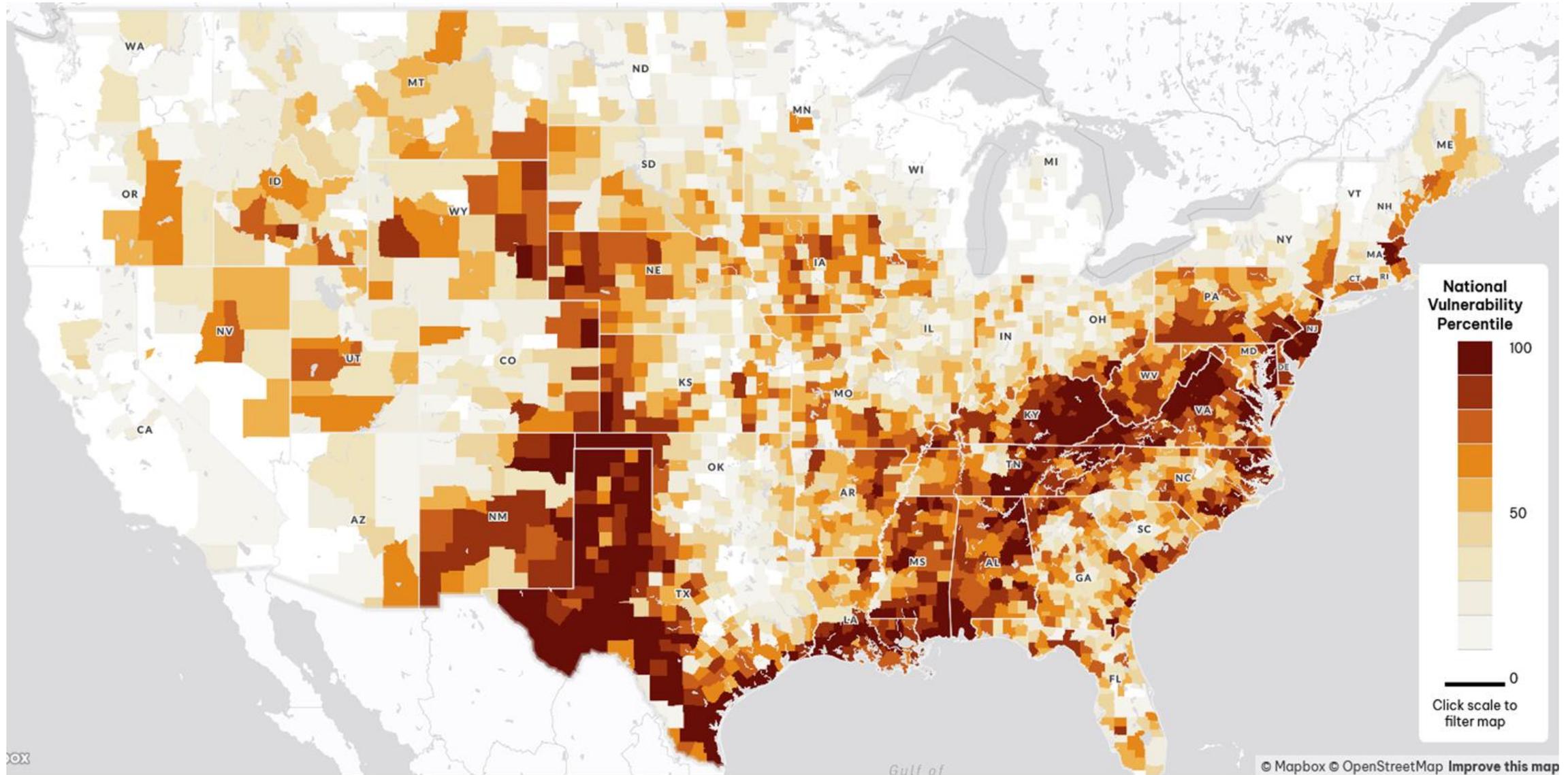
Overall Climate Vulnerability by County

Score combining environmental, social, economic, and infrastructure effects on local stability



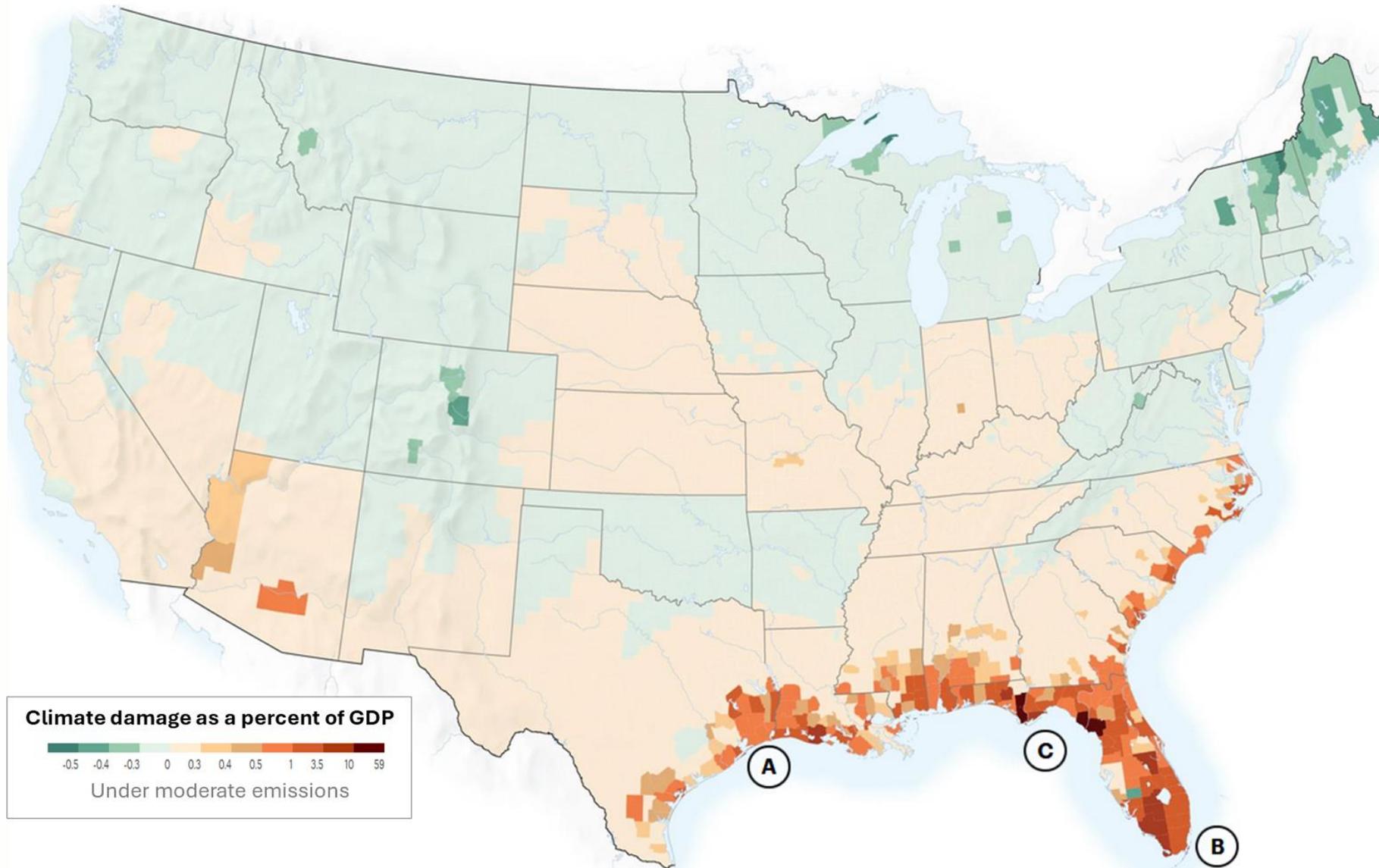
Climate Impacts by County

Measures vulnerability to environmental and economic disruptions related to climate impacts



Estimated Economic Damages from Climate, 2040-2060

Net economic impact from climate change by county, shown as share of local GDP

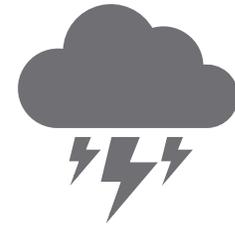


What is Climate Migration?

Climate Migration is the movement of people from their homes – permanently or temporarily – due to climate-related events and change

Climate Migrants are people who leave their homes – forcibly or voluntarily – because of these changes

Exists on a spectrum



Sudden-onset events or disasters (hurricanes, floods, wildfires)

Everything in between (recurring floods, extreme heat)

Slow-onset (sea level rise, drought, temperature changes)



Forced, highly visible, trackable

Voluntary, “invisible”, difficult to track

Difficult to Measure

Climate event spectrum (visible to invisible)

Mixed motivations (climate + economic + social)

Limited data (historical, current, future)

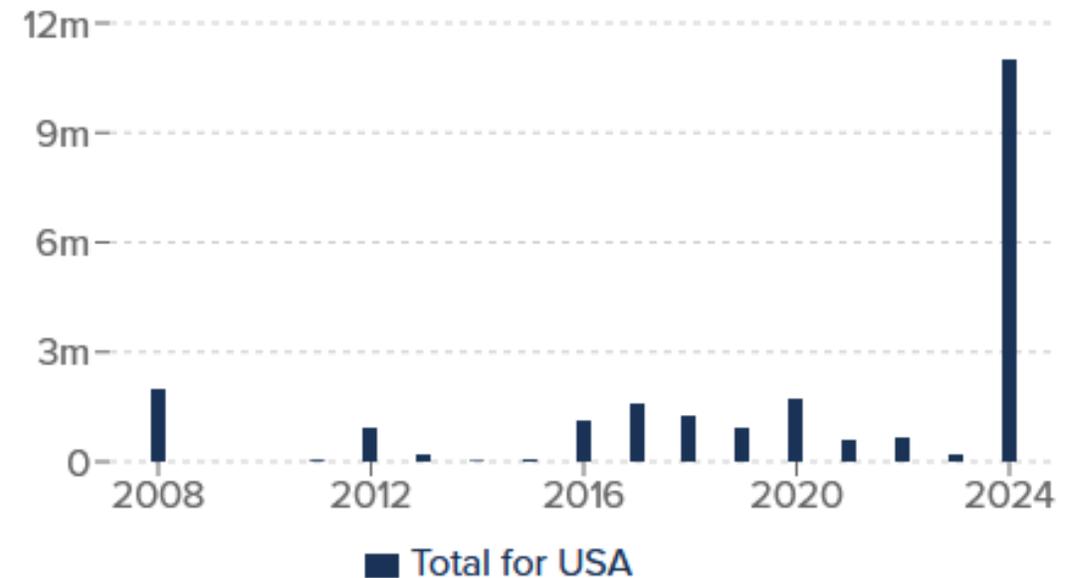
The National Context:

What Empirical Evidence Shows About Climate Migration

What's Measurable - Internal Displacement

22.3 million people internally displaced in U.S. (2008-2024)

as a result of severe storms, wildfires, flood events, and other climate-related environmental disasters



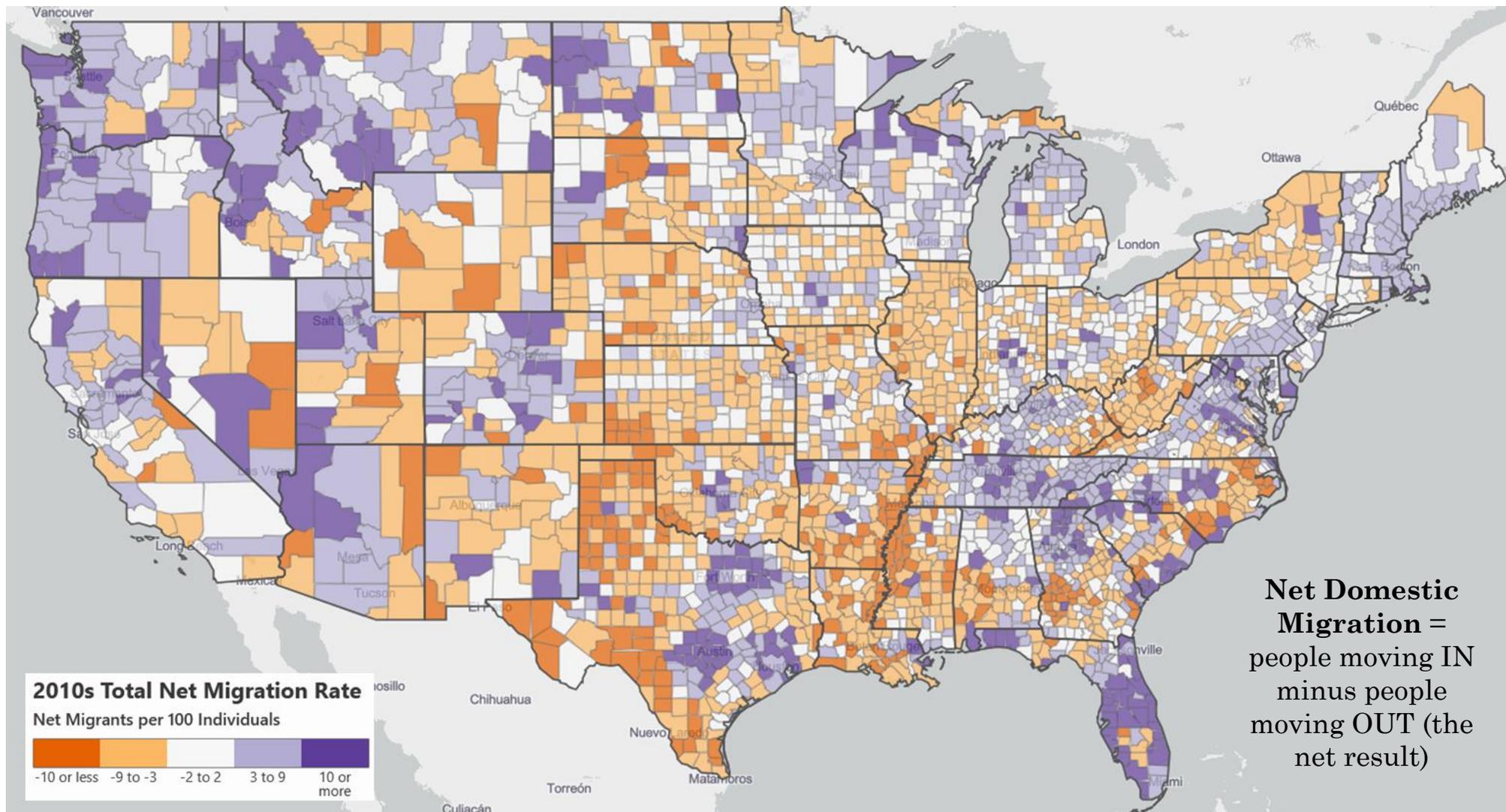
Where Are People Moving Within the U.S.?

Domestic Migration Patterns: Past, Present, and Future

Where People Moved in the 2010s

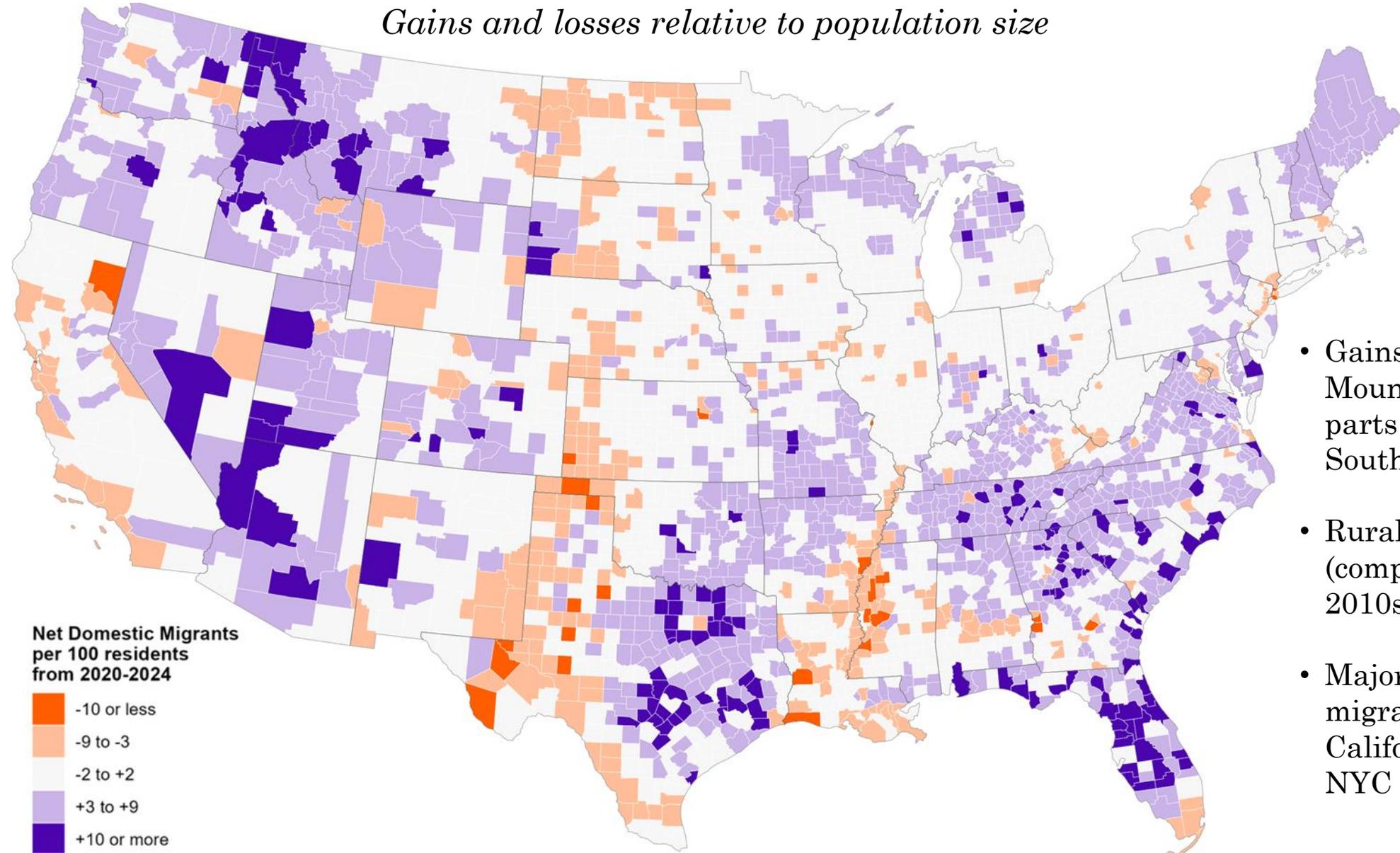
Gains and losses relative to population size

- Strong **IN-migration**: Florida, parts of Texas & Southeast, Mountain West
- Widespread **OUT-migration**: Midwest, Great Plains
- Mixed patterns: Maine/northern New England



Where People Are Moving Now (2020-2024)

Gains and losses relative to population size



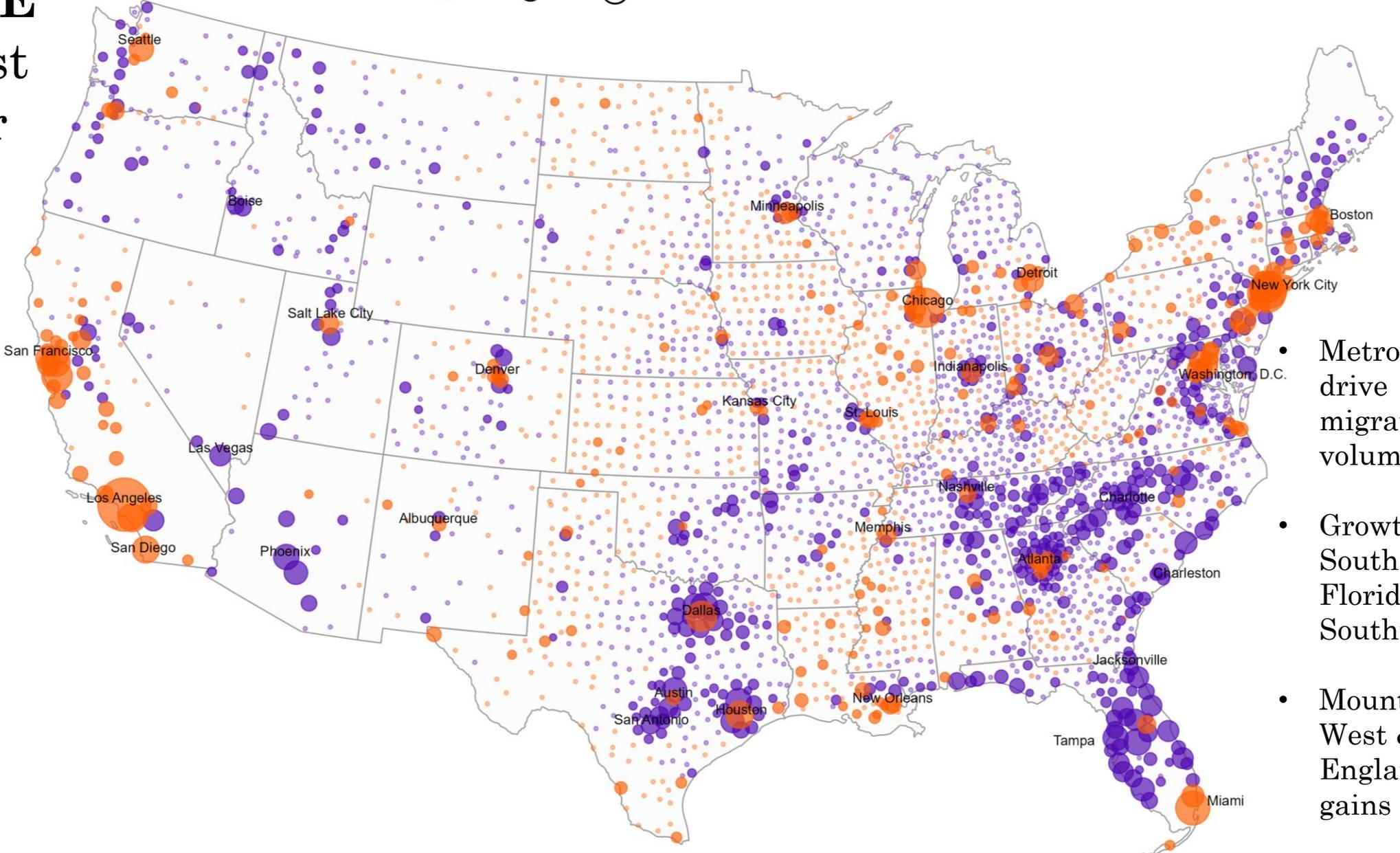
- Gains: Southeast, Mountain West, parts of Texas & Southwest
- Rural Maine gains (compared with 2010s)
- Major metro out-migration: California coast, NYC area

WHERE the most number people moved **IN** vs. **OUT** (2020- 2024)

County net domestic migration, 2020-2024

○ 2K ○ 5K ○ 10K ○ 25K ○ 50K ○ 100K

● More people moving in ● More people moving out

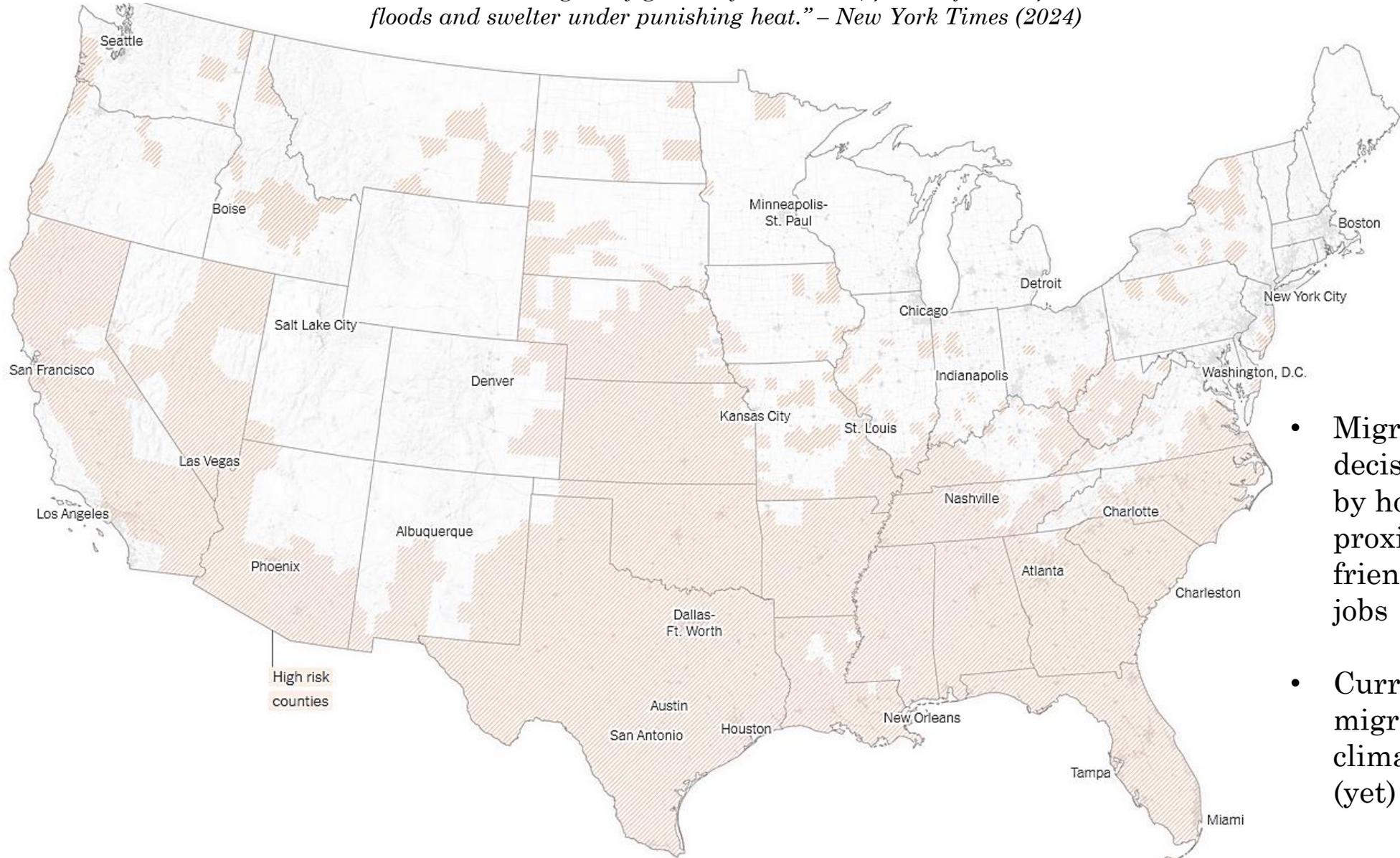


- Metro areas drive migration volume
- Growth: Southeast & Florida coast, Southwest
- Mountain West & New England gains

Overlap between high-risk areas and growth regions particularly in Texas, Florida, Southeast, and parts of California, Arizona

High risk of natural disaster and extreme heat

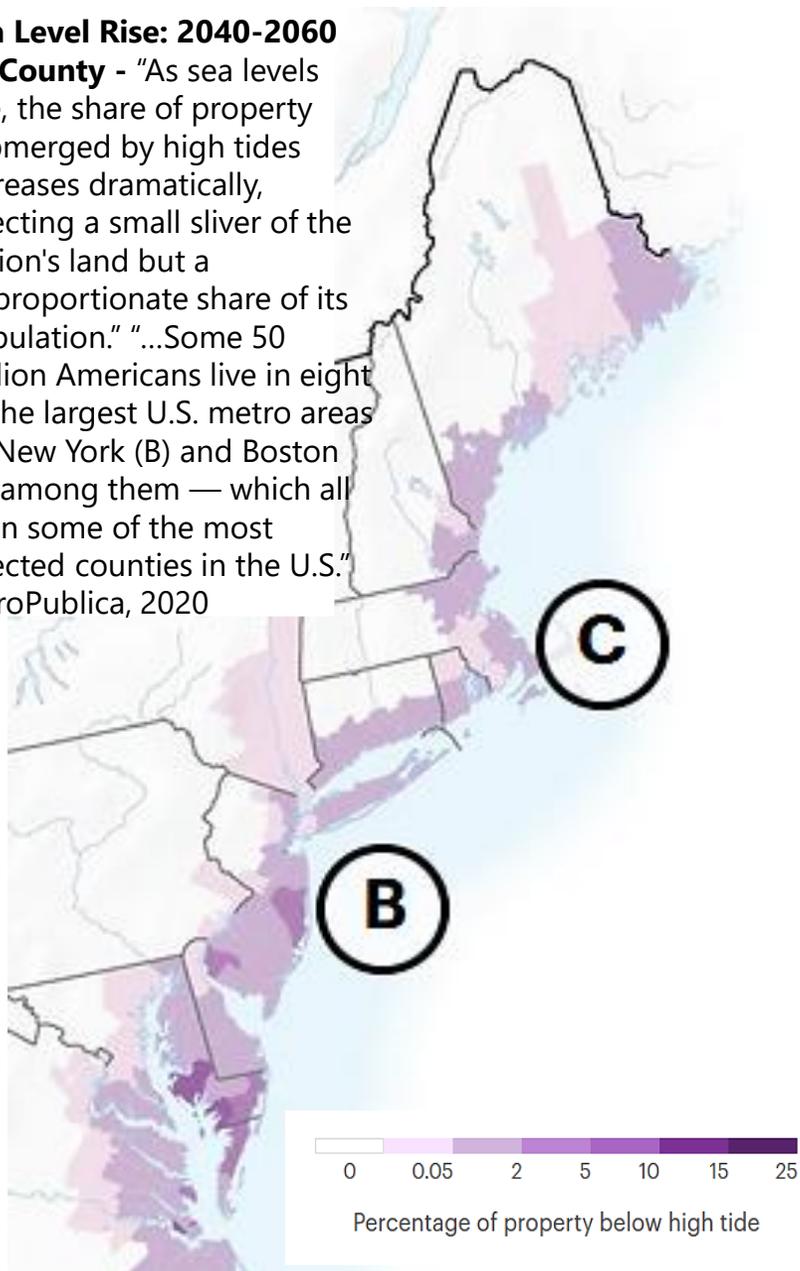
“These U.S. counties regularly get hit by hurricanes, face major wildfires and floods and swelter under punishing heat.” – New York Times (2024)



- Migration decisions driven by housing costs, proximity to friends/family, jobs
- Current migration ≠ climate-driven (yet)

Sea Level Rise: 2040-2060

by County - "As sea levels rise, the share of property submerged by high tides increases dramatically, affecting a small sliver of the nation's land but a disproportionate share of its population." "...Some 50 million Americans live in eight of the largest U.S. metro areas — New York (B) and Boston (C) among them — which all lie in some of the most affected counties in the U.S."
— ProPublica, 2020



The Coastal Challenge

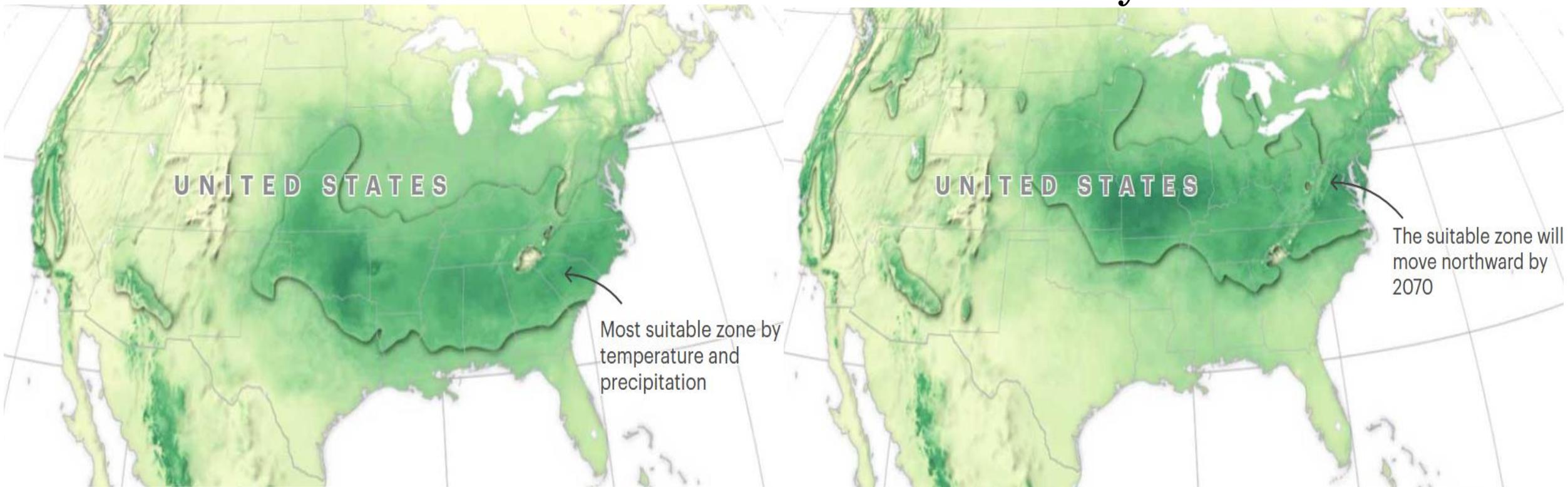
- Coastal areas face compounding climate risks: sea-level rise + storms + flooding + other risks
- Coastal areas cover ~ 10% of U.S. land but home to about 40% of the population, as of 2020
- In Maine, 55% of the population lives in coastal counties (2024)

Long-Term Climate Migration Patterns

Optimal climate zones shift northward

Now

By 2070

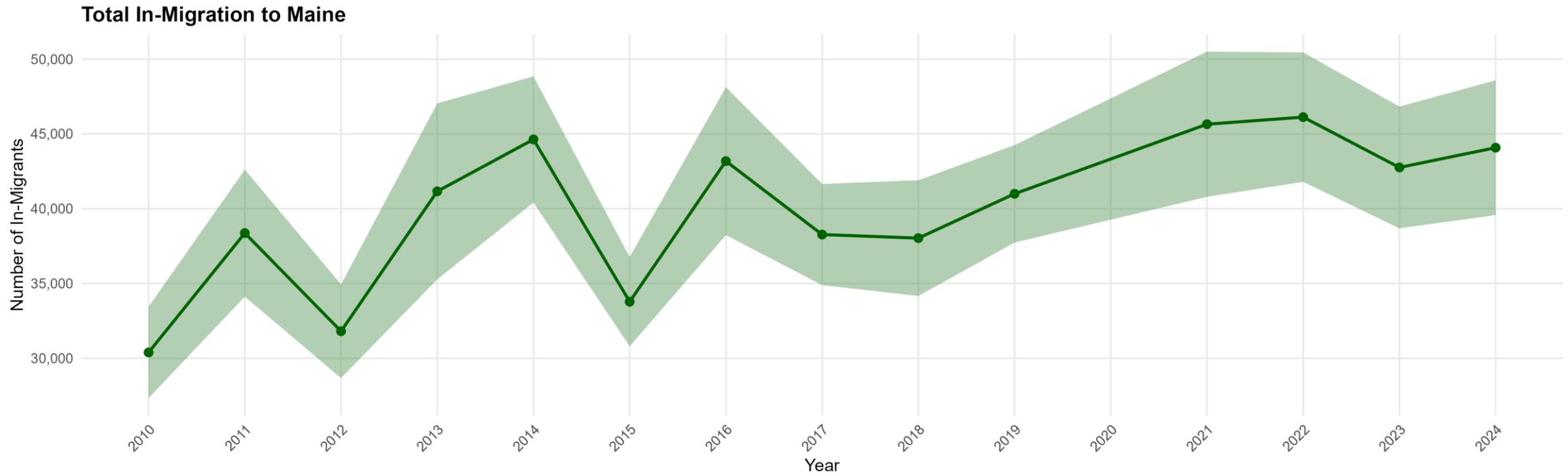


Maine In-Migration Trends

In-Migration Patterns and Local Context

Maine's Migration Trends

- Total in-migration trending upward – includes all people who moved to Maine from another US state and abroad



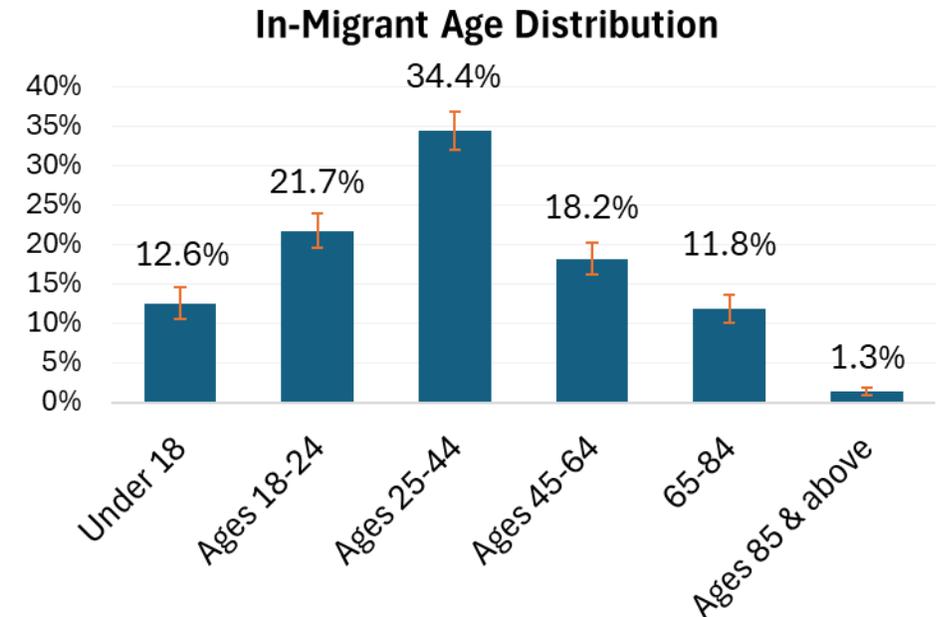
- 91% domestic, 9% abroad
- **42% of domestic in-migrants moved from a New England state.** Top origin states include MA (15%), NH (15%), FL (9%), CA (7%), NY (5%), CT (5%) PA (4%)

Who's Moving to Maine

What We Know About Recent Arrivals

KEY FINDINGS:

- **Median age is 31** – younger than statewide median age (44.8 years)
 - Maine has highest median age in U.S., but unchanged since 2020
- **56.1% bachelor's degrees or higher** compared to 35.3% statewide
- **Slightly more females (51%)** than males (49%)



Why move to Maine? Climate as a factor?

And other factors that influenced the decision to move to Maine

- Climate influenced some decisions but was not a primary driver
- Outdoor recreation amenities, being closer to friends/family/networks, remote work/economic opportunity, and community safety topped the list
- **Climate often one factor among many**

What level of influence do you think weather or climate-related issues (more intense droughts, extreme storms, wildfires, etc.) had on your decision to move to Maine from your previous location?

5 - Extremely strong influence

9%

4 - Somewhat strong influence

13%

3 - Moderate influence

19%

2 - Minimal influence

21%

1 - No influence at all

39%

Economic and Demographic Implications

What This Means for Maine

Maine's Position:

- Relatively well-positioned compared to national climate outlooks
- Attracting in-migrants, including younger people
- Changing weather patterns affect entire state

Opportunities:

- Demographic renewal and workforce growth (inland/statewide)
- Quality of life as economic asset and competitive advantage

Challenges:

- Housing availability/affordability pressures (median home price increased 37% from 2021 to 2025)
- Infrastructure needs (growth in some areas, decline in others)
- Coastal vulnerability, accelerated aging (median ages in most coastal counties above 45)
- Rural areas may face future pressure from inland migration

Key Takeaways

- Climate migration spectrum (slow to sudden) - challenging to measure
- Many moving to high-risk areas; climate one factor among many
- **Maine's unique position:**
 - Relative climate-resilience, attracting younger in-migrants
 - Opportunity: demographic renewal, workforce growth, quality of life
 - Challenge: intensified housing pressures, infrastructure, coastal vulnerability
- **Value of ongoing research and partnerships** - understanding who's moving and why informs decisions

Contact Information

Laura Yeitz | Laura.yeitz@maine.gov

Maine State Economist Office, Department of Administrative and
Financial Services

www.maine.gov/dafs/economist

Climate Migration Panel Notes

- Panelists
 - Laura Yeitz
 - Office of the State Economist
 - She provided most of the statistics. I cannot find those on the website, but they said they were going to send out their presentations. I can send those once I get them.
 - Jonathan Cullet
 - Redfern Properties
 - He talked about barriers from a construction side. Mostly balancing construction and affordable housing with loans.
 - Gunnar Hubbard
 - Roux Institute
 - He reiterated climate migration stats.
 - Laura Mitchell
 - Maine Affordable Housing Coalition
 - Mostly asked questions to the panel.
 - Panagioti Tsolkas
 - Maine Immigrants' Rights Coalition
 - He talked about climate migration from an acceptance standpoint. He used example from the South to show that Maine is relatively accepting of migrants compared to other places. He emphasized accepting climate migrants is crucial to the economy given Maine's age demographics and its high climate safety.
 - Ryan Wallace
 - Wallace Economic Advisors
 - He also talked about the statistics and mostly answered questions.
- 24% of people who move to Maine said it was strongly due to climate
 - They also said this was hard to measure because of sudden-onset challenges and slow-onset challenges. Sudden-onset would be a forest fire. Slow-onset would be things like increased droughts.
- Issues balancing regulatory standards with high construction cost
 - The main point was balancing costs of construction with the 25% workforce housing requirement in Portland
- Pre-approved plans
 - They talked about pre-approved plans being used to combat high costs, easing enforcement burdens, and supplying housing to working class people who move to Maine
 - One of the panelists talked about pre-approved plans for the entirety of Vermont.

- Someone asked about Bangor's pre-approved plans
 - A lot of people were in favor of these
- A lot of people had questions about creating a welcoming environment to anyone who moves to Maine
 - A lot of people talked about struggles they had with building in smaller communities not really cities.
- Maine was one of the few places that had a lot of in-migration that did not have major climate concerns.
 - A lot of people moved to Texas, but that area does have major climate concerns with water infrastructure.
 - They also used some big Texas cities as what can happen with limited regulatory standards
- Infill development
 - A lot of the people asking questions had issues with this, but used it as a city to city issue.
 - They used Portland as an example.
 - People want to develop there, but because of how expensive it is to build there due to regulatory requirements and labor costs, they are looking at other surrounding areas which then increase housing costs in those areas.
 - I think a lot of people thought infill development should be entire cities.
 - No one did talk about issues with this i.e. utility constraints and public pushback.
- Housing costs
 - They talked about housing costs and an older housing market as constraints for migrants.
- Regulatory burdens
 - Another main point about this was how different towns are.
 - It becomes challenging to navigate the different land use codes.
 - A lot of people had issues with the funding requirements from Maine State Housing.
 - They said the requirement cost a lot of money and most of the developers there want to create housing that can stand by itself
 - This was used as a talking point for ways to house incoming climate migrants.
 - A lot of this was from a code enforcement perspective and generally people thought planning had a transparent process.
- Getclimaterready.com

- Penobscot County has a high climate score, moderate opportunity, and low affordability on the map they have.
 - In general, the eastern side of the US has a high rating besides coastal areas (sea-level rise).
- Current migration patterns that were talked about
 - This was a new statistic that the panelists said came out yesterday, but it was a decrease in immigration from around 2 million in 2024 to around half that now.

**Meeting Agenda
Board of Ethics**

Wednesday, March 4, 2026 at 5:30 p.m.
Council Chambers, City Hall

- I. Introductions
- II. Approval of Minutes
 - A. Approval of Minutes from the 12/17/25 Board of Ethics Meeting
 - B. Approval of Findings of Fact with Respect to CO 25-283 - Issue of a City Councilor Taking and Circulating Nomination Papers on Behalf of Another Councilor
- III. New Business
- IV. Other Business
- V. Adjourn

Unless otherwise noted, all meetings are held at City Council Chambers, Bangor City Hall, 73 Harlow Street. After 4:30 p.m., members of the public are asked to use the side entrance of City Hall that faces the direction of Exchange and State streets.

In addition to Zoom, you can also watch most meetings via the City of Bangor's YouTube page.

Anyone who wishes to be heard on the application, offer public comment, evidence, or testimony must attend in person or via Zoom. To attend the meeting via Zoom, you may go to the calendar feature of the City's website at <https://www.bangormaine.gov/calendar>. From the calendar, click on the Board of Appeals meeting on February 4, 2026, and then click the link for the Zoom meeting. The link will be there on or before the date of the meeting.

The City Council has adopted a Public Comment Policy. Individuals who have appropriately pre-registered to give public comment via remote means will be given the opportunity to participate remotely. For more information on accessing City of Bangor's Public Meetings, Remote Public Comment Registration, and Remote Meeting Participation, please visit www.bangormaine.gov/video.

**Board of Ethics
Minutes**

For Meeting Held on December 17, 2025 at 5:35 p.m.

Members Present: Chair Shane Leonard, Michael Maberry, James McGee (Associate), and Stephen Brough (via Zoom).

Outside Counsel Present: Edward Gould, Esq.

- I. Introductions:
 - A. Chair Leonard opened the meeting.
 - B. Chair Leonard advised Associate Member McGee that he will participate in the meeting and vote in place of the absent member.

- II. Approval of Minutes:
 - A. November 19, 2025:
 1. Member Brough made a motion to approve the 11/19/25 meeting minutes.
 - a. Chair Leonard seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).

 - B. December 3, 2025:
 1. Member Brough made a motion to approve the 12/3/25 meeting minutes.
 - a. Chair Leonard seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).

- III. Approval of Advisory Opinion regarding CO 25-270 - Communications Between City Councilors Following the 5/7/25 City Council Budget Workshop.
 - A. Member Leonard made a motion to approve the Advisory Opinion as written.
 1. Member Brough seconded the motion.
 2. Roll call vote conducted:
 - a. Motion passed (4-0).

- IV. Unfinished Business. Requests for Advisory Opinions on City Council Referrals.
 - A. CO 25-282 City Councilor Wayne Mallar's Actions During the 8/14/25 Historic Preservation Commission Meeting – Second Meeting.
 1. Chair Leonard made a motion to table consideration of CO 25-282 until the Board receives the additional requested materials from the City.
 - a. Member Mayberry seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).

- B. CO 25-283 Issue of a City Councilor Taking and Circulating Nomination Papers on Behalf of Another Councilor – Second Meeting Continued.
 - 1. Chair Leonard advised that the Board did not receive any additional statements or records on the matter outside of the statements received by City Clerk Lisa Goodwin and former Councilor Cara Pelletier that are part of the record.
 - 2. Chair Leonard opened the public hearing.
 - A. Hillary Simmons spoke against the actions of former Councilor Tremble.
 - B. Former Councilor Dan Tremble spoke on his behalf.
 - C. Sonia Mallar spoke regarding procedural issues.
 - 3. Chair Leonard closed the public hearing.
 - 4. The Board deliberated on the matter.
 - 5. Member Brough made a motion that former Councilor Dan Tremble did not violate the standards of conduct expected of public officials under Code of Ethics § 33-10, Representing Third Party Interests Before City Agencies.
 - a. Member Mayberry seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).
 - 6. Member Mayberry made a motion that former Councilor Dan Tremble did not violate the standards of conduct expected of public officials under Code of Ethics § 3-1.1, Nonpartisanship.
 - a. Member McGee seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).
 - 7. Member Brough made a motion that former Councilor Dan Tremble did not violate the standards of conduct expected of public officials under Code of Ethics § 33-13, Political Activities.
 - a. Member Mayberry seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).
- V. Member Brough made a motion to incorporate and adopt the prior motions made by Chair Leonard and approved by the Board.
 - a. Member Mayberry seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).
- VI. New business.
 - A. Member McGee made a motion to ratify the motion made by Chair Leonard to table consideration of CO 25-282 until the Board receives the additional requested materials from the City.
 - a. Member Mayberry seconded the motion.
 - b. Roll call vote conducted:
 - i. Motion passed (4-0).

- VII. Other business
 - A. No other business
- VIII. Meeting Adjourned.

**CITY OF BANGOR BOARD OF ETHICS,
FINDINGS OF FACT AND CONCLUSIONS OF LAW
COUNCIL ORDER 25-283**

Referring the Issue of Taking and Circulating Nomination Papers on Behalf of Another

I. Background and Procedural Matters

On September 22, 2025, the Bangor City Council requested an advisory opinion from the City of Bangor Board of Ethics regarding whether Councilor Tremble violated provisions of the City of Bangor Code of Ethics by taking possession of official nomination papers for Councilor Pelletier's candidacy for the Bangor City Council and by personally circulating petitions and organizing others to do the same.

The Board of Ethics met on three occasions to consider the Council referral. On November 19, 2025, the Board (Members Shane Leonard (Chair), Michael Mayberry, Stephen Brough and John King (remotely) present) met and determined the following:

1. The Board requested voluntary statements from Councilor Tremble, Councilor Pelletier and City Clerk Lisa Goodwin;
2. The Board determined it did not need to review additional records from the City or any other public agency;
3. The Board noted no other pre-hearing issues or concerns;
4. The Board set the public hearing on the matter for December 3, 2025 at 5:30 p.m.; and
5. At the December 3 hearing, the Board voted to table the matter until December 17, 2025 because Member King attended by Zoom and did not have access to materials for the Board's consideration.

The Board met again on December 17, 2025 to consider the record before them (Members Shane Leonard (Chair), Michael Mayberry, James McGee and Stephen Brough (remotely), and make findings of fact and conclusions of law. Edward W. Gould, Esq. was present at all meetings to advise the Board.

II. Record

The following materials constitute the record:

1. Council Order 25-283;
2. City of Bangor Code of Ordinances § 9-22, Chapter 33, including, but not limited to §§ 33-10, 33-1.1 and 33-13 and the Board of Ethics Procedural Rules;
3. Voluntary statement from Councilor Pelletier. Councilor Pelletier stated that she did not believe Councilor Tremble violated the Code of Ethics. The Code

explicitly states that it does not prohibit City Councilors from participating in the political process as private citizens. It has been a long standing practice in Bangor of Councilors helping others gather signatures and turning in ballot petitions for other Councilors. In 2025 the Council adopted guidelines to clarify permissible political activities to include distributing signs or assisting materials in the same manner as any other resident and encouraging friends or relatives to vote for a particular candidate outside official meetings. She further noted her belief that, given the City Clerk's well-earned reputation for neutrality, if the Clerk's office had any concern about a Councilor picking up petitions for another candidate, they would have flagged the issue for review by the City Solicitor;

4. Voluntary statement from Clerk Goodwin. Clerk Goodwin stated that her office only retains paperwork for municipal elections for six months, so she could not comment on the number of times this has occurred previously. She did state that, in her thirteen years in Bangor it has not been uncommon for other persons to pick up petitions for candidates and City Councilors have done so on occasions in the past. At times Councilors have circulated petitions themselves; others have picked them up for the candidate to deliver to them for circulation. Candidates are not required to circulate their own petitions;
5. Public comment from Hillary Simmons, Bangor, Maine. Ms. Simmons stated that City Councilors are never off duty and picking up and distributing nomination petitions is a violation of the Code of Ethics. Failing to find a violation in this case would send a message that insiders have advantages and that ethics only matter when convenient;
6. Public comment from Councilor Dan Tremble. Councilor Tremble stated that he picked up nomination petitions from the City Clerk's office as a friend of Councilor Pelletier and in his capacity as a private citizen. Councilor Pelletier was out of town at the time and he agreed to pick up the petitions for her. He left petitions for signature at his business location, Fairmount Market and did not represent himself as a Councilor to any potential signers of the petition. Councilor Pelletier posted on her Facebook page that petitions could be signed at Fairmount Market.
7. Public comment from Sonja Mallar, Bangor, Maine. Ms. Mallar noted that everyone knows that Councilor Tremble was a City counselor at the time. She further felt a motion made by the Chair of the Board constituted a procedural irregularity.

III. Findings of Fact and Conclusions of Law

1. Councilor Tremble stated that, in picking up petitions for Councilor Pelletier and

leaving them at his business for patrons to sign, he acted as a private citizen and did not hold himself out as acting in any official capacity as a representative of the City of Bangor;

2. There is no evidence in this record that Councilor Tremble at any relevant time, either in obtaining nominating petitions or in making them available for signature, indicated that he was acting in any official capacity or that he was acting in any capacity other than as a private citizen;
3. Section 33-13 specifically permits City Councilors to participate in the political process in their private capacities;
4. Section 33-10 prohibits City Councilors from appearing before any City agency or represent any third party interest in any action, proceeding or litigation in which the City or one of its agencies is a party. Councilor Tremble's actions here were limited to picking up nomination petitions and leaving them at his business for signature. Neither action constitutes appearing in a matter where the City or one of its agencies is a party;
5. Section 33-1.1 requires City Councilors to act in a nonpartisan manner and refrain from active participation in a campaign whenever they are identified with or closely associated with, their roles as Bangor public officials. Public officials should take care to identify themselves as private individuals, explicitly separating their statements and actions from their office. The record contains no evidence that Councilor Tremble's actions were closely associated with his position as a City Councilor as opposed to a private individual.

IV. Conclusions and Decisions

1. Member Brough moved (Member Mayberry seconded) that the Board find that Councilor Tremble did not violate Section 33-10 of the Code of Ethics. Approved 4-0.
2. Member Mayberry moved (Member McGee seconded) that the Board find that Councilor Tremble did not violate Section 33-1.1 of the Code of Ethics. Approved 4-0.
3. Member Brough moved (Member Mayberry seconded) that the Board find that Councilor Tremble did not violate Section 33-13 of the Code of Ethics. Approved 4-0.



CITY OF BANGOR

COMMISSION ON CULTURAL DEVELOPMENT

Friday, March 6, 2026 – 8:30 am
City Council Chambers, First Floor of City Hall, 73 Harlow Street

AGENDA

1. Welcome
2. Meeting Minutes – February 6, 2026
3. Report of Chair
4. Financial Report
5. Committee Reports
 - Grant Committee
 - Cultural Asset Committee
 - ARTober Committee
6. Discussion re: Grant Disbursements for Purchasing Items
7. Discussion of Ongoing Projects & Commission Plans for 2026
8. Staff Updates
9. Adjourn

Next meeting: April 3



CITY OF BANGOR

Commission on Cultural Development

February 6, 2026

City Council Chambers, 73 Harlow Street

Meeting Minutes

Commissioners Present: Sundance Campbell, Kelly Chenot (via Zoom), Mariya Doncheva, Nina Earley, Kal Elmore, Sara Elizabeth Green-Hamann, Samantha Schipani (via Zoom), Jennifer Snow (via Zoom)

Others: Anne Krieg – Director of Development, David Szewczyk – City Solicitor

1. A quorum being present the February 6, 2026 meeting of the Commission on Cultural Development was called to order by Chair Earley at 8:30 AM.
2. Meeting Minutes – Postponed.
3. Election of Officers & Sub-Committee Assignments
 - a. Commissioner Elmore nominated Chair Earley to remain in the position – all in favor, none opposed.
 - b. Commissioner Elmore nominated Commissioner Chenot to the position of Vice Chair – all in favor, none opposed.
 - c. ARTober – Commissioner Campbell agreed to remain as Committee Chair.
 - d. Grant – Chair Earley nominated Commissioner Snow to the position of Committee Chair. Snow accepted.
 - e. Cultural Asset – Commissioner Elmore asked about the funding and logistics of conducting a cultural asset survey. Discussed at length with Commissioners and Development Director Anne Krieg. Elmore volunteered to take on the position of Committee Chair. Chair Earley volunteered to serve on the Committee.
4. Financial Report – Balance of \$9,581 as of today's date, as well as \$1,448.30 in the ARTober account (though there are additional ARTober expenses still pending). Commissioner Doncheva asked about the options and process for applying for grant funding for the Commission – Chair Earley responded and discussed. Doncheva also asked for clarification regarding the use of Commission funds and the budget proposal process – Earley responded and clarified.
5. Committee Reports:
 - a. ARTober – Chair Campbell reported that a meeting will be scheduled in March.
6. Annual Training
 - a. City Solicitor David Szewczyk presented to the Commission and provided training regarding the Freedom of Access Act.
 - b. Commissioners Snow and Campbell asked for clarification regarding quorum for both full Commission and Sub-Committee meetings – City Solicitor Szewczyk responded and clarified.
 - c. Chair Earley asked about public access for Sub-Committee meetings – City Solicitor Szewczyk responded and clarified.
7. Staff Updates
 - a. Development Director Anne Krieg discussed recommendations for the use of TIF funds in the upcoming fiscal year. Commissioner Campbell asked for clarification regarding the amount of



CITY OF BANGOR

available funds – Krieg responded and clarified. Campbell also asked about the types of projects that could be funded – Krieg responded and clarified. Discussed budget proposals at length with Commissioners.

8. Adjourned at 9:37 AM.

SUNGARD PUBLIC SECTOR
 DATE: 02/26/2026
 TIME: 10:41:38

CITY OF BANGOR
 GENERAL LEDGER AUDIT TRAIL

PAGE NUMBER: 1
 AUDIT221

ACCOUNTING PERIODS: 1/26 THRU 8/26

(INACTIVE ACCOUNTS INCLUDED)

SELECTION CRITERIA: ALL
 TOTALED ON: FUND,ACCOUNT,PERIOD

FUND - 100 - GENERAL FUND

ACCOUNT	DATE	T/C	REFERENCE	VENDOR/PAYER	DEBIT	CREDIT	DESCRIPTION	NET
35721050						.00	BEGINNING BALANCE	
	06/30/25	19-1	NEW YEAR		335.40		BEGINNING BALANCE	
	02/18/26	19-1	CLOSE YR			416.40	TRANSFER 13TH PERIOD BAL	
	07/29/25	19-1	T07133			20,000.00	XFER 2026 CULT COMM FUNDS	
	TOTAL PERIOD 1				335.40	20,416.40		20,081.00
	12/23/25	21-6	503612	11235 BANGOR AUTHOR'S CO	1,500.00		COMMISSION	
	12/23/25	21-6	503750	11235 ROBINSON BALLET CO	1,500.00		COMMISSION	
	12/23/25	21-6	503758	11235 SOME THEATRE COMPA	2,000.00		COMMISSION	
	12/23/25	21-6	503742	10136 PENOBSCOT THEATRE	2,500.00		2025 COMMISSION	
	12/23/25	21-6	503616	10751 BANGOR SYMPHONY OR	3,000.00		COMMISSION	
	TOTAL PERIOD 6				10,500.00	.00		-10,500.00
TOTAL	CULTURAL COMMISSION					9,581.00		
TOTAL	GENERAL FUND				.00	9,581.00		
TOTAL REPORT					.00	9,581.00		

* THERE IS A NOTE ASSOCIATED WITH THIS TRANSACTION

SUNGARD PUBLIC SECTOR
 DATE: 02/26/2026
 TIME: 10:39:31

CITY OF BANGOR
 EXPENDITURE AUDIT TRAIL

PAGE NUMBER: 1
 AUDIT21

SELECTION CRITERIA: exp1edgr.key_orgn='8729'
 ACCOUNTING PERIODS: 1/26 THRU 8/26

SORTED BY: FUND/DIVISION,ACCOUNT

TOTALED ON: FUND/DIVISION

PAGE BREAKS ON: FUND/DIVISION

FUND - 250 - GRANTS
 FUND/DIVISION - 8729 - **ARTOBER-A MONTH OF ARTS**

ACCOUNT DATE	T/C	ENCUMBRANC	REFERENCE	VENDOR	BUDGET	EXPENDITURES	ENCUMBRANCES	DESCRIPTION	CUMULATIVE BALANCE
250-9500-18002-8729-8729 - ARTOBER-A MONTH OF ARTS									
72009900					.00	.00	.00	BEGINNING BALANCE	
06/30/25	11-1				.00			POSTED FROM BUDGET SYSTEM	
07/29/25	19-1		T07134			-2,500.00		XFER 2026 ARTOBER FUNDS	
10/31/25	21-4		502171	11788 CHENOT, KELLY		51.70		REIMBURSEMENT-ARTOBER	.00
10/31/25	21-4		502132	14250 BANGOR BEAUTIFUL		1,000.00		BANGOR ARTS AWARD	.00
TOTAL	MISCELLANEOUS				.00	-1,448.30	.00		1,448.30
73040000					.00	.00	.00	BEGINNING BALANCE	
06/30/25	11-1				.00			POSTED FROM BUDGET SYSTEM	
TOTAL	OTHER SERVICES				.00	.00	.00		.00
73040200					.00	.00	.00	BEGINNING BALANCE	
06/30/25	11-1				.00			POSTED FROM BUDGET SYSTEM	
TOTAL	ADVERTISING				.00	.00	.00		.00
73040225					.00	.00	.00	BEGINNING BALANCE	
06/30/25	11-1				.00			POSTED FROM BUDGET SYSTEM	
TOTAL	MARKETING				.00	.00	.00		.00
73040350					.00	.00	.00	BEGINNING BALANCE	
06/30/25	11-1				.00			POSTED FROM BUDGET SYSTEM	
TOTAL	ENTERTAINMENT				.00	.00	.00		.00
TOTAL FUND/DIVISION - ARTOBER-A MONTH OF AR					.00	-1,448.30	.00		1,448.30
TOTAL REPORT					.00	-1,448.30	.00		1,448.30

***Have not yet received
 invoice for space rental for
 awards ceremony**

* THERE IS A NOTE ASSOCIATED WITH THIS TRANSACTION